

1 FIRST FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"

PLUMBING FIXTURE COUNT						
OCCUPANCY BUSINESS	MALE OCCUPANTS: 137			FEMALE OCCUPANTS: 137		
	MALE FIXTURES REQUIRED	MALE REQUIRED	MALE ACTUAL	FEMALE FIXTURES REQUIRED	FEMALE REQUIRED	FEMALE ACTUAL
WATER CLOSET	5: 81-110, 1 PER EACH ADDITIONAL 50	06	04	5: 81-110, 1 PER EACH ADDITIONAL 50	06	07
URINALS	>50%	03	03	N/A	N/A	N/A
LAVATORIES	5: 91-125, 1 PER EACH ADDITIONAL 50	06	06	5: 91-125, 1 PER EACH ADDITIONAL 50	06	06
DRINKING FOUNTAINS	1 PER 75	04	05			
SERVICE SINKS	1 PER FLOOR	01	01			

SAFETY REFERENCE SYMBOLS & ABBREVIATIONS			
101	ROOM IDENTIFICATION NUMBER	[Hatched Box]	AREA NOT IN CONTRACT
EXIT #	PRIMARY EXIT NUMBER	[Red Dashed Line]	SPRAY FIREPROOFING
ACT. CALC.	OCCUPANT LOAD PER MAXIMUM FLOOR AREA ALLOWANCE	[Red Solid Line]	
ACT. CALC.	ACTUAL/ANTICIPATED OCCUPANT FLOOR	[Red Dotted Line]	
EXIT #	DOOR EXIT IDENTIFICATION NUMBER	[Arrow]	
ACT. CALC.	DOOR CALCULATED EXIT CAPACITY	[Arrow]	
ACT. CALC.	DOOR ACTUAL EXIT CAPACITY	[Arrow]	
EXIT PATH ID	EGRESS ROUTE	[Dashed Arrow]	
EXIT PATH ID	EGRESS ROUTE IDENTIFICATION	[Dashed Arrow]	
[Red Solid Line]	1 - HOUR FIRE RESISTANCE RATING		
[Red Dotted Line]	2 - HOUR FIRE RESISTANCE RATING		
FEC	FULLY RECESSED FIRE EXTINGUISHER CABINET		

OCCUPANT LOAD SCHEDULE					
ROOM ID NUMBER	ROOM NAME	AREA	SF / OCCUPANT	CALCULATED OCCUPANT LOAD	ACTUAL OCCUPANT LOAD
EXIT A					
T/O FIRST FLOOR					
1003	FITNESS CENTER	2513 SF	50	51	51
1013	FACILITY OFFICE	146 SF	150	1	1
1020	POWER TESTING OFFICE	128 SF	150	1	1
1021	POWER RECEPTION/ PROCESSING	274 SF	150	2	2
1023	EXISTING MECH.	341 SF	300	2	2
				57	57
EXIT B					
T/O FIRST FLOOR					
1016A	WAITING	41 SF	7	6	6
1025	SOFT INTERVIEW	112 SF	150	1	2
1027	RECORDS	286 SF	150	2	4
1028	DISPATCH	309 SF	150	3	3
1028A	DISPATCH SUPER. WORK AREA	68 SF	150	1	1
1031	SERGEANT'S OFFICE	178 SF	150	2	3
1032	INVESTIGATOR'S OFFICE	144 SF	150	1	2
1033	ROLL CALL / CONF.	263 SF	150	2	12
1034	ADMIN. ASSISTANT	111 SF	150	1	1
1036	BREAK ROOM	213 SF	15	15	15
1037	SQUAD ROOM	334 SF	15	23	23
1040	TECH. WORK ROOM	90 SF	150	1	1
1041	C.S.O. / STUDENT OFFICE	81 SF	150	1	2
1042	TRAINING CLASSROOM	937 SF	20	47	48
				106	123
				106	123
EXIT D					
T/O FIRST FLOOR					
1043	CHIEF'S OFFICE	156 SF	150	2	2
1044	COMMANDER'S OFFICE	125 SF	150	1	1
1045	GENERAL STORAGE	78 SF	300	1	1
1046	GENERAL STORAGE	83 SF	300	1	1
1047	EVIDENCE PROCESSING	104 SF	150	1	1
1048	EVIDENCE ROOM	103 SF	300	1	1
1050	PRISONER PROCESSING ROOM	342 SF	150	3	3
1052	HOLDING CELL	55 SF	150	1	1
1053	LINEUP INTERVIEW	86 SF	150	1	2
1054	SECURE INTERVIEW	86 SF	150	1	2
1055	JUVENILE INTERVIEW	86 SF	150	1	2
1056	ARMORY	67 SF	300	1	1
1059	WOMEN'S LOCKER ROOM	422 SF	50	9	10
1060	MEN'S LOCKER ROOM	518 SF	50	11	12
				35	40
				35	40
EXIT E					
T/O FIRST FLOOR					
1067	MAN LOCK	Option	300		2
1068	SALLY PORT ADDITION	766 SF	300	3	3
				3	5
EXIT F					
T/O FIRST FLOOR					
1070	FLEET STORAGE ADDITION	3677 SF	300	13	12
1071	STORAGE	138 SF	300	1	1
1072	WATER SERVICE	135 SF	300	15	14
				15	14
EXIT G					
T/O FIRST FLOOR					
1073	MEN'S LOCKER ROOM	632 SF	50	13	13
1074	WRESTLING LOCKERS	120 SF	50	3	3
1075	LAUNDRY	117 SF	300	1	1
				17	17
				17	17
EXIT H					
T/O FIRST FLOOR					
1015	I.D.F. / LEED / DR. CONTROL ROOM	82 SF	300	1	1
1038	EXISTING MECH.	635 SF	300	3	3
1076	WOMEN'S LOCKER ROOM	611 SF	50	13	13
				17	17
				17	17
TOTAL OCCUPANCY					
				250	273

BUILDING DATA - NEW CONSTRUCTION	
APPLICABLE CODE	IBC 2018
USE GROUP	B
CONSTRUCTION TYPE (TABLE 601)	III-B
ALLOWABLE HEIGHT (TABLE 504.3)	55 FEET
ACTUAL HEIGHT	39'-0"
ALLOWABLE STORIES ABOVE GRADE (TABLE 504.4)	3
ACTUAL STORIES ABOVE GRADE	2
ALLOWABLE AREA (TABLE 506.2)	23,000 SF
NEW BUILDING FOOTPRINT	05,357 SF
EXISTING BUILDING FOOTPRINT	15,403 SF
TOTAL BUILDING AREA (EXISTING + NEW)	20,760 SF
AUTOMATIC SPRINKLER SYSTEM REQUIREMENTS	NO

FIRE-RESISTANCE RATINGS FOR BUILDING ELEMENTS		
BUILDING ELEMENT	RATING	UL APPROVED DESIGN NO.
PRIMARY STRUCTURAL FRAME		
BEAMS	-0 HR	-
COLUMNS	-0 HR	-
BEARING WALLS		
EXTERIOR	-0 HR	-
INTERIOR	-0 HR	-
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS		
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	-0 HR	-
PERIMETER FIRESTOPPING AT CURTAIN WALL	-0 HR	-
PERIMETER FIRESTOPPING AT EDGE OF SLAB	-0 HR	-
FIRE WALL (TABLE 706.4)	-2 HR	-
PARTY WALLS (TABLE 706.4)	-0 HR	-
CORRIDOR WALLS (TABLE 1020.1)	-1 HR	-
EXTERIOR WALL FIRE SEPARATION DISTANCE (TABLE 602)		
	X-HOUR: < 5' / X-HOUR: 5' > X < 10'	
	X-HOUR: 10' > X < 30' / X-HOUR: > 30'	

MEANS OF EGRESS - NEW CONSTRUCTION	
APPLICABLE CODE	SPRINKLED
DOOR/CORRIDOR EGRESS WIDTH (1005.3.2)	0.2/PERSON
STAIR EGRESS WIDTH (1005.3.1)	0.3/PERSON
MAX. LENGTH OF EXIT ACCESS TRAVEL (TABLE 1017.2)	200 FEET
MAX. LENGTH OF COMMON PATH EGRESS TRAVEL (TABLE 1006.2.1)	75 FEET
MAX. LENGTH OF DEAD END CORRIDORS (TABLE 1020.4)	20 FEET
MINIMUM CORRIDOR WIDTH (TABLE 1020.2)	44 INCHES

APPLICABLE CODES - NEW CONSTRUCTION	
29 CFR 1910 - OCCUPATIONAL SAFETY AND HEALTH STANDARDS; CURRENT EDITION	
BUILDING CODE: INTERNATIONAL BUILDING CODE, 2018 EDITION (INTERNATIONAL CODE COUNCIL, 4501 W. FLOORSMOOR RD., COUNTRY CLUB HILLS, IL 60478-5795)	
PLUMBING CODE: ILLINOIS PLUMBING CODE (77 ILL. ADM. CODE 890)	
MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE, 2018 EDITION (INTERNATIONAL CODE COUNCIL, 4501 W. FLOORSMOOR RD., COUNTRY CLUB HILLS, IL 60478-5795)	
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE, NFPA 70, 2020 EDITION (NATIONAL FIRE PROTECTION ASSOCIATION, 1 BATTERY MARCH PARK, QUINCY, MA 02189-7471)	
FIRE PREVENTION: FIRE PREVENTION AND SAFETY (41 ILL. ADM. CODE 100)	
ENERGY CODE: ILLINOIS ENERGY CONSERVATION CODE (71 ILL. ADM. CODE 600)	
ANY LOCAL BUILDING CODES THAT MAY BE MORE RESTRICTIVE THAN THE CODES LISTED ABOVE	

EXIT DOOR SCHEDULE					
DOOR EXIT ID NUMBER	DOOR WIDTH (INCHES)	MEANS OF EGRESS CAPACITY	CALCULATED EXIT CAPACITY	ACTUAL EXIT CAPACITY	
EXIT A	6'-0"	67.5	0.2	338	60
EXIT B	6'-0"	67.5	0.2	338	123
EXIT C	3'-0"	33	0.2	165	0
EXIT D	3'-0"	33	0.2	165	40
EXIT E	3'-0"	33	0.3	110	5
EXIT E	3'-0"	33	0.3	110	5
EXIT E	3'-0"	33	0.3	110	5
EXIT F	3'-0"	33	0.3	110	14
EXIT G	3'-2 1/4"	35.25	0.2	176	11
EXIT H	3'-0"	33	0.2	165	20

EXIT TRAVEL DISTANCES	
EXIT PATH ID	TRAVEL DISTANCE
EXIT PATH 1	136'-0"
EXIT PATH 2	152'-10"
EXIT PATH 3	103'-3"
EXIT PATH 4	171'-10"
EXIT PATH 5	158'-7"
EXIT PATH 6	67'-5"
EXIT PATH 7	108'-11"
EXIT PATH 8	77'-4"

REVISIONS		
NO.	DESCRIPTION	DATE

ABB	DESCRIPTION
AC	AIR CONDITIONING
ABV	AIRBORE
ACM	ARCHITECTURAL CONCRETE
ACT	ALUMINUM COMPOSITE MATERIAL
ACT	ACOUSTIC CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJUCENT
ADO	AUTOMATIC DOOR OPENER
ADOP	AUTOMATIC DOOR OPENER ON PEDESTAL
AE	ARCHITECTURALLY EXPOSED CONCRETE
AED	AUTOMATED EXTERNAL DEFIBRILLATOR
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL
AF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
AIB	AIR INFILTRATION BARRIER
ALT	ALTERNATE
ALUM/AL	ALUMINUM
AND	AND/OD
ACR	AREA OF REFUGE
AP	ACCESS PANEL
APPROX	APPROXIMATELY
ARA	AREA OF RESCUE ASSISTANCE
ARCH	ARCHITECTURAL
AS	ACOUSTICAL SEALANT
ASH	ADJUSTABLE SHOWER HEAD
AWP	ACOUSTIC WALL PANEL
B	BASE CABINET
B	BOTTOM OF
BST	BIO-SAFE TILE
BD	BOARD
BF	BOTTLE FILLER
BLK	BLOCKING
BO	BY OWNER
BRN	BRONZE
BS	BOTH SIDES
BSMT	BASEMENT
CB	CATCH BASIN
CD	CORNICE DRAIN
CD	CORNER GUARD
CH	COAT HOOK
CJ	CONTROL JAMB
CL	CENTER LINE
CLG	CEILING
CLR	CLEARANCE
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
CO	CLEAN OUT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CP	CENTER POINT
CPT	CARPET (BROADLOOM)
CPTT	CARPET TILE
CR	CARD READER
CT	CERAMIC TILE
CTB	CERAMIC TILE BASE
CTF	CERAMIC TILE FLOOR
CTW	CERAMIC TILE WALL
D	DATA OUTLET
DF	DRINKING FOUNTAIN
DIAM	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISH	DISHWASHER
DLO	DAYLITE OPENING
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DW	DOMESTIC WATER
DWG	DRAWING
EACH	EACH
EC	EXPOSED CONSTRUCTION
EF	EACH FACE
EH	EXHAUST HOOD

ABB	DESCRIPTION
EHD	ELECTRIC HAIR DRYER
EJ	EXPANSION JOINT
EL/ELV	ELEVATION
ELEC	ELECTRICAL
EMS	ENTRANCE MAT SYSTEMS
EP	ELECTRICAL PANEL
EQ	EQUAL
EWC	ELECTRIC WATER COOLER
EWS	EYE WASH STATION
EX/EXIST	EXISTING EXPOSED
EXR	EXISTING TO REMAIN
F	FLOOR
FF	FLOOR FINISH
FAFP	FIRE ALARM SYSTEM ANNUNCIATOR PANEL
FAB	FABRIC
FACP	FIRE ALARM CONTROL PANEL
FAP-X	FABRIC WRAPPED ACOUSTIC PANEL - (X = THICKNESS OF THE PANEL)
FB	FACE BRICK
FBN	FLIP BENCH
FBO	FURNISHED BY OWNER
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FEGB	FIRE EXTINGUISHER CABINET AND BLANKET
FF	FACTORY FINISH
FG	FULL GLASS DOOR
FG-2	FULL GLASS DOOR - PAIR
FI	FULL HEIGHT
FL	FLUSH LOUVER DOOR
FL-2	FLUSH LOUVER DOOR - PAIR
FLR	FLOOR
FOF	FACE OF FOUNDATION
FOM	FACE OF MASONRY
FOS	FACE OF STUD
FOW	FACE OF WALL
FT	FOOT FEET
GA	GAUGE
GALV	GALVANIZED
GAS	GAS METER AND REGULATOR
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GL	GLASS
GL BLK	GLASS BLOCK
GLZ	GLAZING
GRND	GROUND
GWB	GYPSPUM WALL BOARD
GYP	GYPSPUM
HB	HOSE BIBB
HD	ELECTRIC HAND DRYER
HDS	HIGH DENSITY STORAGE
HDWR	HARDWARE
HG	HALF GLASS DOOR
HG-2	HALF GLASS DOOR PAIR
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HPC	HIGH PERFORMANCE COATING
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION, AIR CONDITIONING
HW	HEATING WATER HEATER
ID	INSIDE DIAMETER
IN	INCH
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
IPS	INTERIOR PAINT SYSTEM
JC	JANITORS CLOSET
JT	JOINT
KB	KNOX BOX
KS	KNEE SPACE
LAM	LAMINATE
LAV	LAVATORY
LIN	LINOLEUM
LP	LOW POINT

ABB	DESCRIPTION
LT	LINTEL
LVR	LOUVER
LV	LUXURY VINYL TILE
M	MIRROR
MAL	MATERIAL
MAX	MAXIMUM
MBF	MARKERBOARD (#DENOTES WIDTH, REFER TO INTERIOR ELEVATIONS FOR MOUNTING HEIGHT)
MCM	METAL COMPOSITION MATERIAL
MD	MEDIUM DIMENSION
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MED	MEDIA
MEZ	MEZZANINE
MFR/MANUF	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM / MINUTE
MISC	MISCELLANEOUS
ML	MATCH LINE
MO	MASONRY OPENING
MP	METAL PANEL
MST	MOSAIC TILE
MSTB	MOSAIC TILE BASE
MT	METAL TRANSITION
MTD	MOUNTED
MTL	METAL
MJ	MECHANICAL UNIT
MW	MICROWAVE
MML	METAL WARDROBE LOCKER
MX	MAILBOX UNIT
NC	NOISE CRITERIA
NIC	NOT IN CONTRACT
NL	NARROW LIGHT DOOR
NLR	NARROW LIGHT DOOR - RATED
NLR-2	NARROW LIGHT DOOR - RATED PAIR
NO	NUMBER
NOM	NOMINAL
NOT TO SCALE	NOT TO SCALE
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OCD	OVERHEAD COILING DOOR
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
ORD	OVERFLOW ROOF DRAIN
OSB	ORIENTED STRAND BOARD
OS	OPEN SITE DRAIN
P	PHONE OUTLET
PART	PARTITION
PATT	PATTERN
PC	PRECAST CONCRETE
PCD	POLISHED CONCRETE
PL	PROPERTY LINE
PLM	PLASTIC LAMINATE
PLWD	PLYWOOD
PNT	PAINT
PR	PR
PREFAB	PREFABRICATED
PSE	MOTORIZED PROJECTION SCREEN
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PSM	MANUAL PROJECTION SCREEN
PT	PORCELAIN TILE
PTB	PORCELAIN TILE BASE
PTD	PAPER TOWEL DISPENSER
PTD	PAINTED
PTF	PORCELAIN TILE FLOOR
PTF	PORCELAIN TILE STAIR TREAD
PTTWS	PORCELAIN TILE TACTILE WARNING STRIP
PTW	PORCELAIN TILE WALL
PVC	POLYVINYL CHLORIDE
QAO	QUAD POWER OUTLET
QT	QUARRY TILE
QTY	QUANTITY
R	RISER
VC	VOLUME CONTROL
VCT	VINYL COMPOSITION TILE

ABB	DESCRIPTION
RA	ROOF LADDER
RB	RUBBER BASE
RBST	RUBBER STAIR TREAD
RD	ROOF DRAIN
REF	REFERENCE REFER TO
REF	REVISION
REIN	REINFORCER
REQD	REQUIRED
RES	RESINOUS FLOORING
RESB	RESINOUS INTEGRAL BASE
REV	REVISION
RF	RUBBER FLOOR
RFM	RUBBER FLOOR TILE
RFM	ROOM
RFOP	ROUGH OPENING
RFW	RIGHT OF WAY
RP	RESIN PANEL
RSE	ROLLER SHADE - MOTORIZED
RSE	SKYLIGHT ROLLER SHADE - MOTORIZED
RS	ROLLER SHADE LEFT CONTROL
RSR	ROLLER SHADE RIGHT CONTROL
RT	RESILIENT TRANSITION
RTU	ROOF TOP UNIT
RUBR	RUBBER
RUC	RUBBER CURTAIN
SC	SOAP DISPENSER
SEC	SECTION
SHT	SHEET
SIM	SIMILAR
SMT	SANITARY NAPKIN DISPOSAL
SNV	SANITARY NAPKIN VENDOR
SPEC	SPECIFICATION
SPM	SINGLE PLY MEMBRANE
SQ	SQUARE
SS/ST STL	STAINLESS STEEL
SSF	STAIR SURFACE
SSG	SILICONE STRUCTURAL GLAZING
ST	SEALANT TAPE
ST	STEEL
STC	SOUND TRANSMISSION COEFFICIENT
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
STT	STONE THRESHOLD
STV	STOVE
SUSP	SUSPENDED
SV	SHEET VINYL
T	TREAD
TI	FALL STORAGE CABINET
TI	TOP OF
TI	TOP OF
TB	TACKBOARD (# DENOTES WIDTH, REFER TO INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS)
TBR	TOWEL BAR
TC	TOILET COMPARTMENT
TD	TRENCH DRAIN
TEL	TELEPHONE
TR	TOP OF FINISH FLOOR
TRK	THICK
TP	TOILET PAPER
TPD	TOILET PAPER DISPENSER
TPO	THERMOPLASTIC OLFIN
TRZ	TERRAZO
TS#	TACK STRIP (# DENOTES WIDTH, REFER TO INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS)
TV	TELEVISION
TYP	TYPICAL
UC	UNDER COUNTER
UNO	UNLESS NOTED OTHERWISE
URNAL	URNAL
URNAL	URNAL SCREEN
VB	VAPOR BARRIER
VB	VINYL BASE
VBFS	RECESSED VOLLYBALL FLOOR SLEEVE
VIC	VOLUME CONTROL
VCT	VINYL COMPOSITION TILE

ABB	DESCRIPTION
VDB	VISUAL DISPLAY BOARD
VEND	VENDING MACHINE
VERT	VERTICAL
VEST	VESTIBULE
VF	VENT PIPE IN FIELD
VP	VENT PIPE
VV	VINYL TILE
VWC	VINYL WALL COVERING
W	WALL CABINET
WD	WOOD
WID	WASHER / DRYER
W/O	WITHOUT
WC	WATER CLOSET
WCO	WALL CLEAN OUT
W	WOOD
WM	WALKOFF MAT
WP	WATERPROOF
WPTL	WOOD PANEL
WPF	WORK POINT
WFF	WELDED WIRE FABRIC
WCO	WALL CLEAN OUT

GENERAL NOTES

- ALL WORK SHALL BE COMPLIANT WITH THE CODES, ORDINANCES, AND REGULATIONS OF THE JURISDICTION HAVING JURISDICTION OVER THE PROJECT LOCATION.
- THE TRADE CONTRACTORS PERSONNEL SHALL NOT BE ALLOWED ON THE PROJECT SITE WITHOUT COMPLYING WITH THE OWNER'S SECURITY PROTOCOLS.
- WHERE CONFLICTS EXIST WITHIN OR BETWEEN PARTS OF THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND APPLICABLE STANDARDS, CODES, ORDINANCES, AND REGULATIONS THE MORE STRINGENT OR HIGH QUALITY OR GREATER QUALITY REQUIREMENTS SHALL APPLY. LARGE-SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS; FIGURED DIMENSIONS TAKE PRECEDENCE OVER UNFIGURED DIMENSIONS; AND NOTED MATERIALS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS.
- THE CONTRACT DOCUMENTS IDENTIFY THE MINIMUM AMOUNT OF WORK REQUIRED. TRADE CONTRACTORS SHALL PROVIDE THE EXTENT OF WORK NECESSARY FOR A COMPLETE INSTALLATION.
- REFER TO THE PROJECT MANUAL FOR PRODUCTS, MATERIALS, AND PROCEDURES NOT IDENTIFIED ON THE CONTRACT DRAWINGS.
- THE ACTUAL AREAS OF WORK SHALL BE KEPT TO THE MINIMUM REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS. EXISTING DIMENSIONS AND HATCHED AREAS INDICATED ON CONTRACT DOCUMENTS ARE FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY.
- PRIOR TO BIDDING, THE TRADE CONTRACTORS SHALL FIELD VERIFY THE EXTENT OF WORK REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS. ADDITIONAL WORK THAT IS REQUIRED, WAS VISIBLE, AND COULD HAVE BEEN IDENTIFIED DURING BIDDING SHALL BE COMPLETED BY THE RESPONSIBLE TRADE CONTRACTOR(S) AT NO ADDITIONAL COST TO THE OWNER.
- THE TRADE CONTRACTORS SHALL BE FAMILIAR WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OR CONSTRUCTION MANAGER OF ANY CONFLICTS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO PREPARING SUBMITTALS OR BEGINNING ANY WORK.
- THE TRADE CONTRACTORS SHALL PROVIDE ALL TEMPORARY CONSTRUCTION AND/OR SHORING REQUIRED TO PROPERLY EXECUTE THE REQUIREMENTS OF THEIR CONTRACT.
- ALL EXTERIOR OPENINGS SHALL BE SECURED AT ALL TIMES WHEN WORK IS NOT BEING PERFORMED. THE TRADE CONTRACTORS SHALL NOT REMOVE EXISTING DOORS, FRAMES, WINDOWS, ETC. UNTIL REPLACEMENTS ARE ON SITE AND READY FOR INSTALLATION. IF INSTALLATION OF DOORS, FRAMES, WINDOWS, ETC. CANNOT BE COMPLETED BY THE END OF THE WORK DAY, THE RESPONSIBLE TRADE CONTRACTORS SHALL PROVIDE TEMPORARY WEATHERPROOF CONSTRUCTION AS REQUIRED TO SECURE THE BUILDING TO THE SATISFACTION OF THE OWNER AND RESTORE AFFECTED SURFACES TO THEIR ORIGINAL CONDITION.
- PATCHING, REPAIRING, AND REFINISHING WORK SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE EXISTING ADJACENT CONSTRUCTION AS CLOSE AS POSSIBLE IN MATERIAL, FINISH, COLOR, TEXTURE AND SHEEN. REFER TO THE CONTRACT DRAWINGS FOR EXISTING BUILDING CONSTRUCTION TO REMAIN.
- TRADE CONTRACTORS SHALL PROTECT THEIR WORK AND EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT TO REMAIN FROM DAMAGE. ANY WORK AND/OR EXISTING FINISHES TO REMAIN DAMAGED DURING THE REMOVAL OF EXISTING WORK OR THE INSTALLATION OF NEW WORK SHALL BE REPAIRED, REPLACED, AND REFINISHED BY THE RESPONSIBLE TRADE CONTRACTOR TO MATCH THE ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- THE ARCHITECT SHALL REVIEW AND APPROVE LOCATIONS FOR ALL JUNCTION BOXES AND RACEWAYS PRIOR TO INSTALLATION OF WIRING / CABLING.
- EXISTING SITE FEATURES, MATERIALS, AMENITIES, LANDSCAPING, ETC. DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE RESTORED, REPAIRED, OR REPLACED BY THE RESPONSIBLE TRADE CONTRACTOR(S) AT NO ADDITIONAL COST TO THE OWNER AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- CONTRACTOR SHALL COORDINATE THE WORK WITH ALL PARTIES INVOLVED SO THAT THE CONSTRUCTION CAN PROCEED SMOOTHLY, WITHOUT TRADE INTERFERENCE OR WASTE OF TIME AND MATERIAL.
- WARNING: ASBESTOS-CONTAINING BUILDING MATERIALS ARE OR MAY BE PRESENT IN THIS BUILDING. AN ASBESTOS MANAGEMENT PLAN IS AVAILABLE IN THE SCHOOL. FOR REVIEW UPON REQUEST. NO PERSON MAY DISTURB ASBESTOS-CONTAINING MATERIALS UNLESS THAT PERSON IS A LICENSED ASBESTOS WORKER OR CONDUCTS SUCH WORK IN ACCORDANCE WITH SPECIFICATIONS(S) CONTAINED IN THE PROJECT DOCUMENTS AND IN COMPLIANCE WITH ILLINOIS DEPARTMENT OF HEALTH RULES AND REGULATIONS.**

GENERAL CONSTRUCTION / RENOVATION NOTES

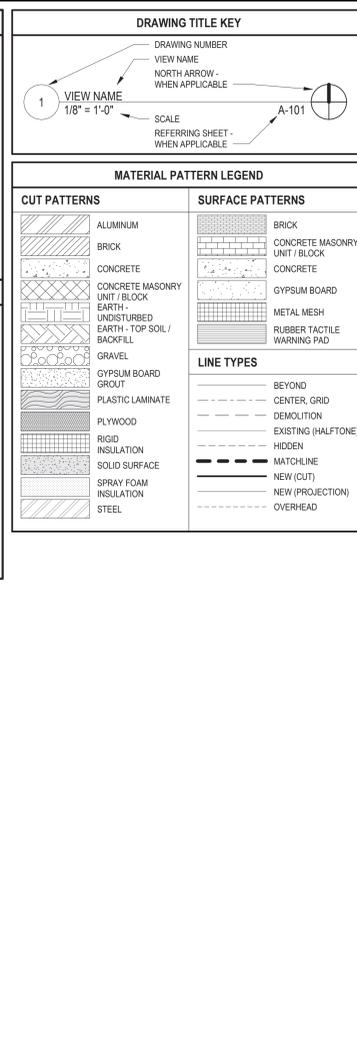
- AFTER REMOVAL OF ITEMS IDENTIFIED TO BE REMOVED, CLEAN AND REPAIR THE EXISTING SURFACES TO REMAIN TO MATCH THE CONSTRUCTION MATERIALS AND METHODS, FINISHES, TEXTURE, PATTERN, COLOR AND SHEEN OF THE ADJACENT SURFACES TO REMAIN. PATCH, CLEAN, PREPARE, PAINT, ETC. EXISTING SURFACES AS REQUIRED.
- WHERE EXISTING EQUIPMENT IS REMOVED AND NEW EQUIPMENT IS SMALLER AND INSTALLED IN THE SAME LOCATION, CLEAN AND REPAIR THE ADJACENT SURFACES TO REMAIN. PATCH, CLEAN, PREPARE, PAINT, ETC. EXISTING SURFACES AS REQUIRED.
- EXISTING AND NEW FIRE RATED ASSEMBLIES ARE TO BE MAINTAINED AND BE IN CONFORMANCE WITH APPLICABLE CODES. PENETRATIONS SHALL BE CONSTRUCTED AND SEALED AS REQUIRED. NEW FIRE RATED ASSEMBLIES SHALL BE INSPECTED, CERTIFIED, AND APPROPRIATELY LABELED ABOVE CEILINGS.
- ALL PENETRATIONS THROUGH ANY MATERIAL SHALL BE SEALED WITH A COMPATIBLE MATERIAL APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- MASONRY INFILL AND/OR PATCHING SHALL MATCH THE MATERIAL, SIZE, FINISH, COLOR, TEXTURE AND COURSE OF EXISTING MASONRY TO REMAIN. NEW MASONRY SHALL BE WHOLE UNITS TOOTHED IN TO THE EXISTING MASONRY. NO SAW CUT EDGES WILL BE ALLOWED. MORTAR JOINTS TO MATCH COLOR, TEXTURE AND PROFILE OF ADJACENT MASONRY.
- STRUCTURAL LINTELS ARE REQUIRED AT ALL OPENINGS AND RECESSES IN LOAD BEARING AND NON-LOAD BEARING MASONRY WALLS. REFER TO STRUCTURAL DRAWINGS.
- EXPOSED OUTSIDE CORNERS OF INTERIOR CONCRETE MASONRY UNITS SHALL BE ROUNDED. U.N.O.
- PROVIDE A CONTINUOUS BEAD OF SEALANT BETWEEN DISSIMILAR MATERIALS. U.N.O.
- PROVIDE GALVANIC PROTECTION SEPARATING DISSIMILAR METALS.
- ALL EXPOSED PIPING AND CONDUIT SHALL BE KEPT AS CLOSE AS POSSIBLE TO WALLS STRUCTURE, AND FLOOR/ROOF DECK.
- ALL WALLS ABOVE DOORS/FRAMES TO EXTEND TO UNDERSIDE OF DECK, U.N.O.
- ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF FINISH MATERIAL. U.N.O.
- SLOPE ALL CONCRETE AND/OR TOPPING TO FLOOR DRAINS, COORDINATE WITH PLUMBING DRAWINGS.
- CENTER SPRINKLER HEADS AND LIGHT FIXTURES, SECURITY DEVICES, WAPS, EXIT SIGNS, & SIMILAR DEVICES IN ACT TILES. U.N.O.
- INSTALL WOOD BLOCKING AS NEEDED FOR ALL WALL MOUNTED ITEMS.

GENERAL FINISH NOTES

- EXISTING SIGHT EXPOSED SURFACES OF EXISTING PARTITIONS AND SOFFITS SHALL BE FINISH PAINTED.
- ALL NEW CONSTRUCTION AND IDENTIFIED EXISTING CONSTRUCTION TO REMAIN SHALL BE PRIME AND FINISH PAINTED UNLESS MATERIALS ARE PRE-FINISHED. REFER TO THE FINISH PLANS AND THE PROJECT MANUAL FOR ADDITIONAL INFORMATION. NEW PARTITIONS AND SOFFITS ARE TO BE PRIME PAINTED FOR FULL HEIGHT OF PARTITION OR SOFFIT. SIGHT-EXPOSED SURFACES OF NEW PARTITIONS AND SOFFITS ARE TO BE FINISH PAINTED.
- ALL WALLS IN EXISTING ROOMS IN WHICH WORK IS OCCURRING:
 - REPAIR HOLES, DEFECTS, ETC. IN EXISTING PLASTER AND CONCRETE BLOCK WALLS.
 - AT REPAIRS AND UNPAINTED CONCRETE BLOCK PROVIDE BLOCK FILL PAINT AND TWO FINISH COATS OF PAINT. AND
 - PROVIDE ONE FINISH COAT OF PAINT OVER EXISTING PAINTED WALLS.
- IN OCCUPIED SPACES IN AREAS OF RENOVATION, ALL SIGHT-EXPOSED MEPPF COMPONENTS INCLUDING, BUT NOT LIMITED TO, DUCTWORK, PIPING, FITTINGS, CONDUIT, BOXES, HANGERS, ETC. SHALL BE PAINTED. DO NOT PAINT MOVING PARTS OR LABELS.
- DO NOT PAINT EXISTING FACE BRICK, GROUND FACE CMU OR SGFT, UNO.

GENERAL REFLECTIVE CEILING NOTES

- ALL CEILING ELEVATIONS IDENTIFIED DENOTE HEIGHT ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, AND TECHNOLOGY DRAWINGS FOR CEILING MOUNTED EQUIPMENT AND COMPONENTS NOT IDENTIFIED ON ARCHITECTURAL DRAWINGS.
- IN AREAS WITH NO FINISHED CEILING SYSTEM REFER TO ELECTRICAL DRAWINGS FOR LUMINAIRES AND SPACING.
- REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION REGARDING:
 - PAINTING OF CEILING COMPONENTS;
 - SUSPENDED ACOUSTICAL TILE CEILING SYSTEM TYPES TO BE PROVIDED;
 - CEILING HUNG WINDOW TREATMENTS.
- PRIOR TO BEGINNING ANY WORK, NOTIFY THE ARCHITECT IF EXISTING CONDITIONS PREVENT NEW CEILING SYSTEMS FROM BEING INSTALLED AS DRAWN AND NOTED.
- PRIOR TO BEGINNING ANY WORK, NOTIFY THE ARCHITECT IF QUANTITY AND/OR SPACING OF LIGHT FIXTURES ON ELECTRICAL DRAWINGS DOES NOT MATCH QUANTITY AND/OR SPACING OF LIGHT FIXTURES ON ARCHITECTURAL DRAWINGS.
- LIGHT FIXTURES IN CORRIDORS ARE TO BE CENTERED IN THE WIDTH OF THE CORRIDOR UNLESS NOTED OTHERWISE.
- ALL CEILING TILES SHALL BE TYPE 1 UNLESS NOTED OTHERWISE:
 - PROVIDE TYPE 2 CEILING TILES IN TOILET ROOMS.
- PAINT ALL GYPSUM CEILING.



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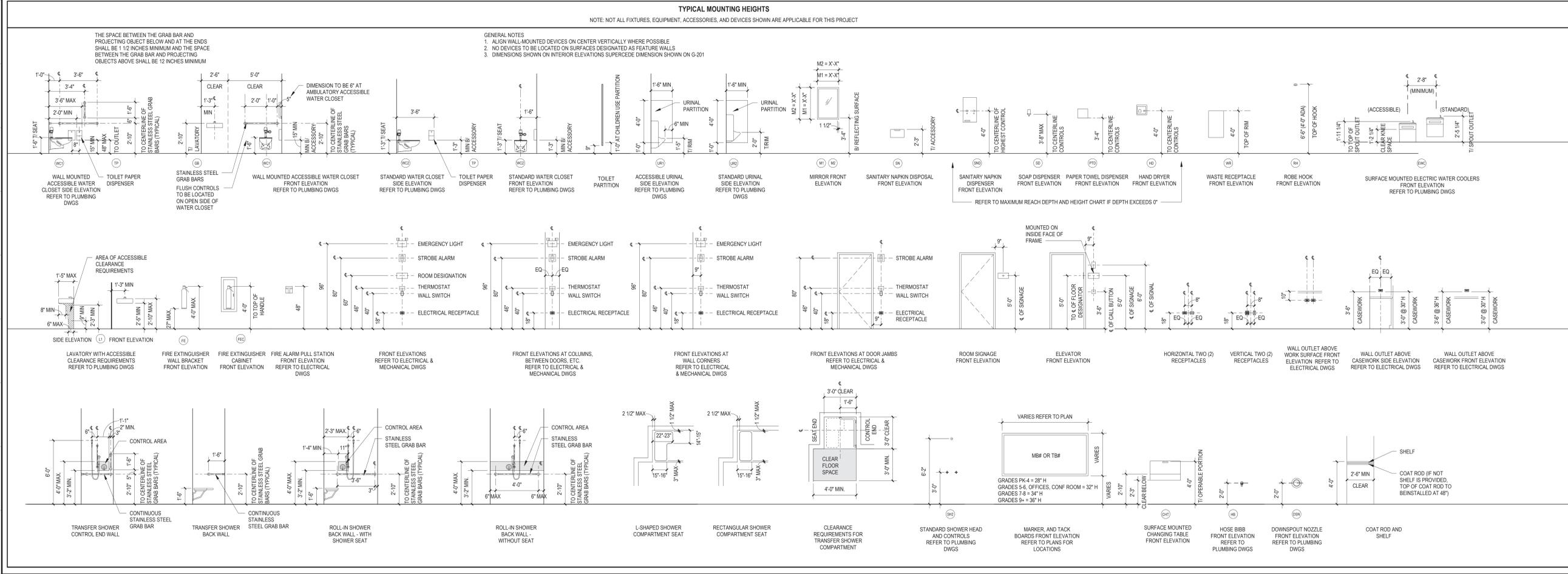
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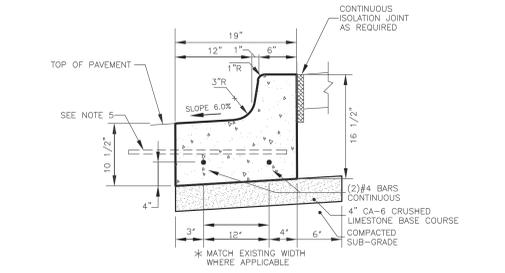
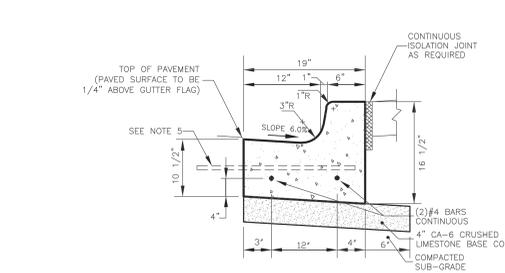
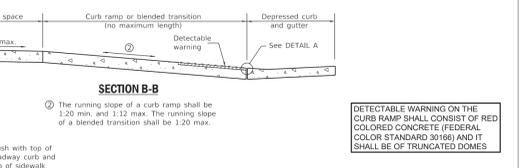
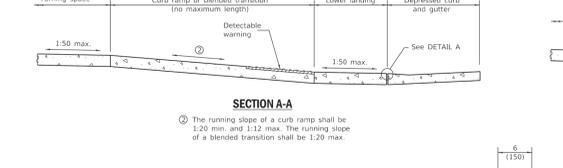
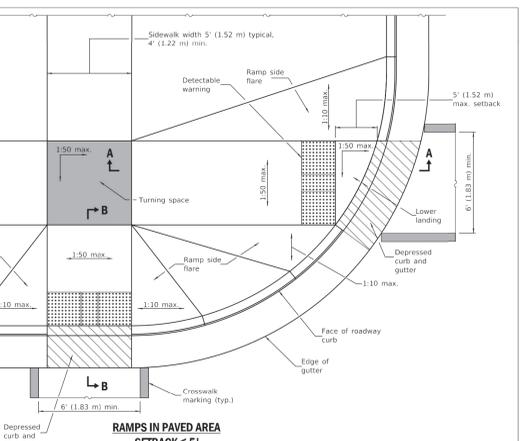
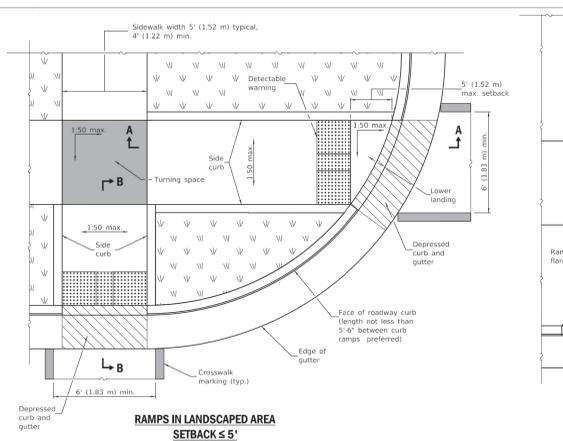
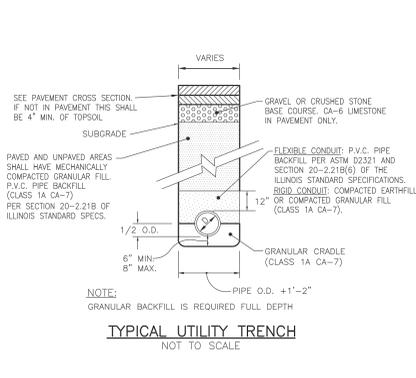
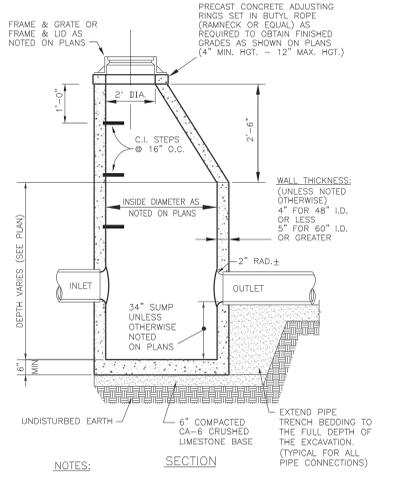
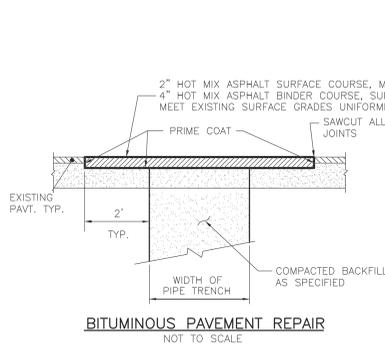
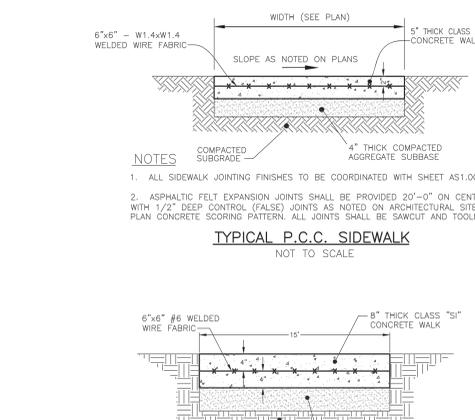
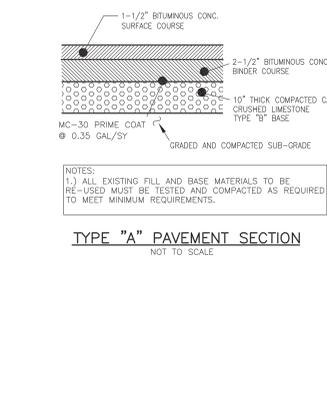
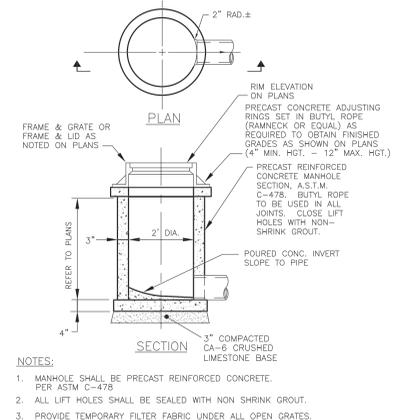
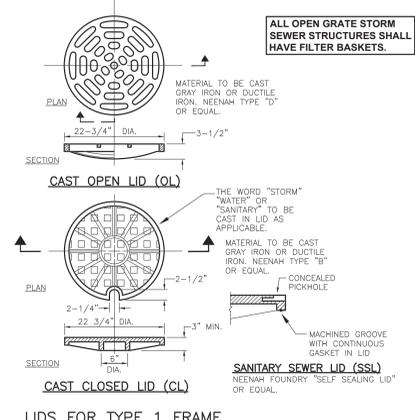
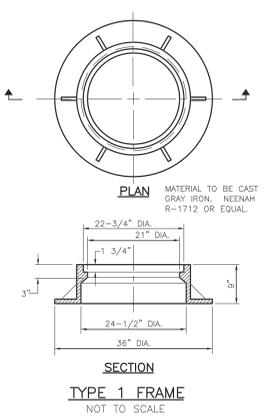
PROJECT NUMBER 220120.00
DATE OF ISSUE 06.28.21
DRAWN BY AB/RJ
CHECKED BY JJ

SYMBOLS AND PROJECT GENERAL NOTES

G-201
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SITE CONSTRUCTION GENERAL NOTES

- ALL NEW CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION; ANY "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF JOLIET.
- UNLESS NOTED OTHERWISE, ANY UNDERGROUND SEWER OR DRAIN TILE SHALL REMAIN IN OPERATION, AND IF DAMAGED SHALL BE REPAIRED TO EXISTING OR BETTER CONDITION. THE OWNER OF THE TILE AND THE CITY SHALL BE NOTIFIED BEFORE TRENCH IS BACKFILLED.
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE OWNER, CITY AND ENGINEER IF THERE IS ANY DISCREPANCY BETWEEN THE PLANS AND EXISTING CONDITIONS. PRIOR TO PROCEEDING WITH ANY STAGE CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- EROSION CONTROL TO BE APPLIED PER THE ILLINOIS PROCEDURES FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL MANUAL, LATEST EDITION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, DEBRIS, WASTES AND VEGETATION FROM THE SITE AS NOTED ON THE PLAN OR AS MAY BE REQUIRED TO PROPERLY COMPLETE HIS WORK. ALL DEBRIS AND SURPLUS MATERIALS REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NO ON-SITE BURNING OR BURIAL SHALL BE ALLOWED.
- TRAFFIC CONTROL
ALL WORK CONDUCTED WITHIN ANY PUBLIC RIGHT OF WAY SHALL BE COVERED BY THE APPLICABLE ARTICLES OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE LATEST EDITION OF THE "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS". WORK SHALL INCLUDE FURNISHING, INSTALLING, MAINTAINING, RELOCATING AND REMOVING ALL TRAFFIC CONTROL DEVICES USED FOR THE PURPOSE OF REGULATING, WARNING OR DIRECTING TRAFFIC DURING THE CONSTRUCTION OF ANY IMPROVEMENTS. LOADING AND UNLOADING OF MATERIALS, MOBILIZATION OF EQUIPMENT, CLEANING OF PAVEMENTS OR WHENEVER THE SAFETY OF WORKERS OR TRAFFIC MAY BE AN ISSUE. TRAFFIC CONTROL DEVICES INCLUDE: SIGNS AND THEIR SUPPORTS, SIGNALS, PAVEMENT MARKINGS, BARRICADES WITH SAND BAGS, CHANNELING DEVICES, WARNING LIGHTS, ARROW BOARDS, FLAGGERS, OR ANY OTHER DEVICE USED FOR THE PURPOSE OF REGULATING, WARNING OR GUIDING TRAFFIC THROUGH THE CONSTRUCTION ZONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION, INSTALLATION, AND ARRANGEMENT OF ALL TRAFFIC. ANY DROP OFF GREATER THAN TWO INCHES WITHIN EIGHT FEET OF THE PAVEMENT EDGE SHALL BE PROTECTED BY TYPE I OR II BARRICADES WITH IDOT APPROVED WARNING LIGHTS. TRAFFIC CONTROL DEVICES AND MEASURES SHALL BE SUBJECT TO APPROVAL AND INSPECTION BY ANY AND ALL GOVERNING AUTHORITIES THAT MAY HAVE JURISDICTION OVER THE ROADWAY AND/OR ADJACENT RIGHT OF WAYS.



DATE	REVISIONS
1-1-19	Removed "15-foot rule", added "Blended transitions" and placement tolerances for detectable warnings.
1-1-18	Omitted diagonal slope at turning spaces and lower landings.

DATE	REVISIONS
1-1-19	Removed "15-foot rule", added "Blended transitions" and placement tolerances for detectable warnings.
1-1-18	Omitted diagonal slope at turning spaces and lower landings.

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER	220120.00
DATE OF ISSUE	06.28.21
DRAWN BY	R.P. & RT&A
CHECKED BY	J.H. & RT&A

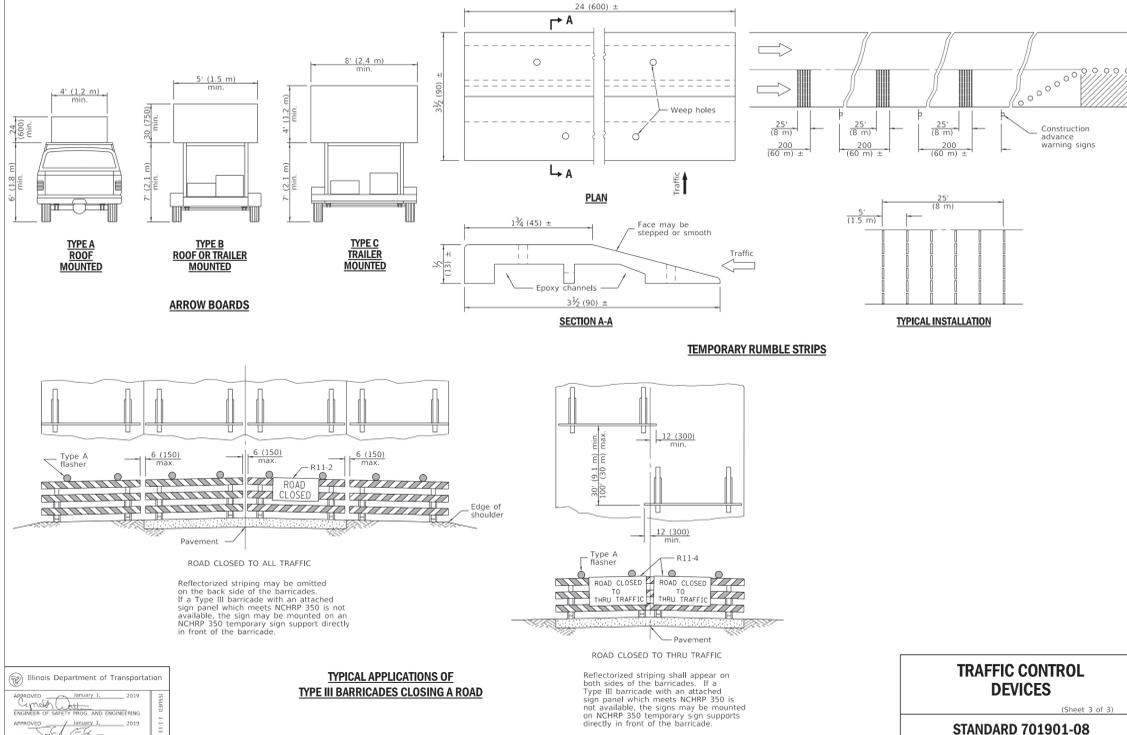
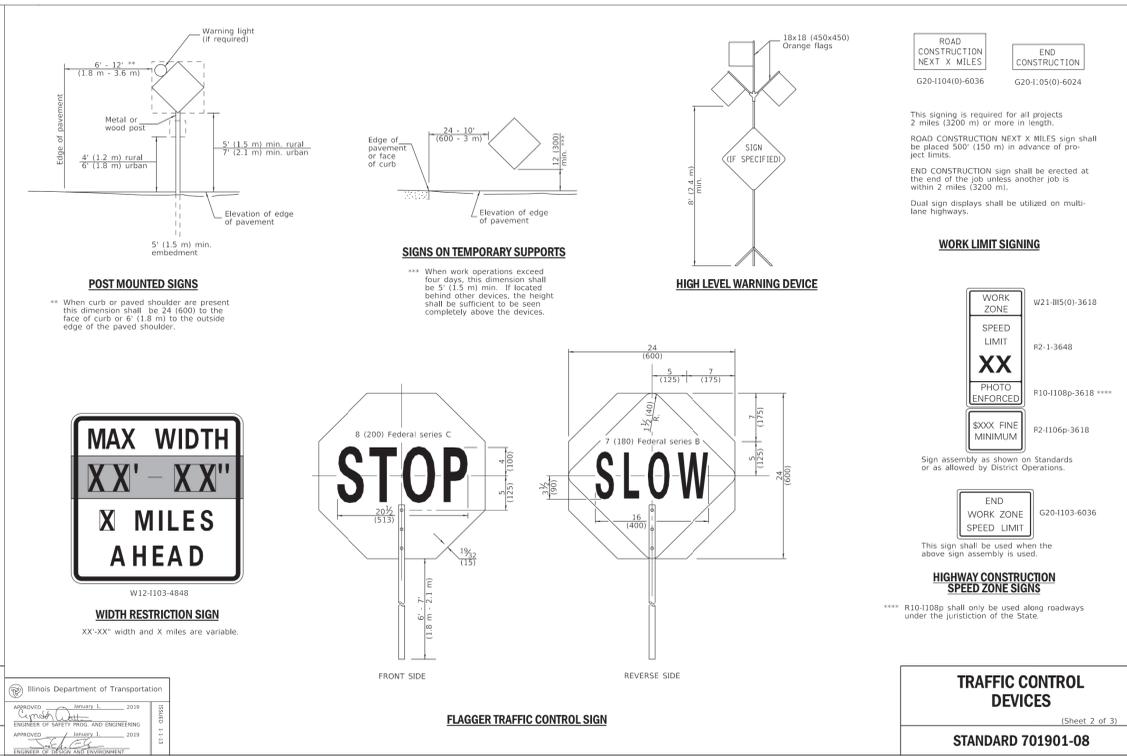
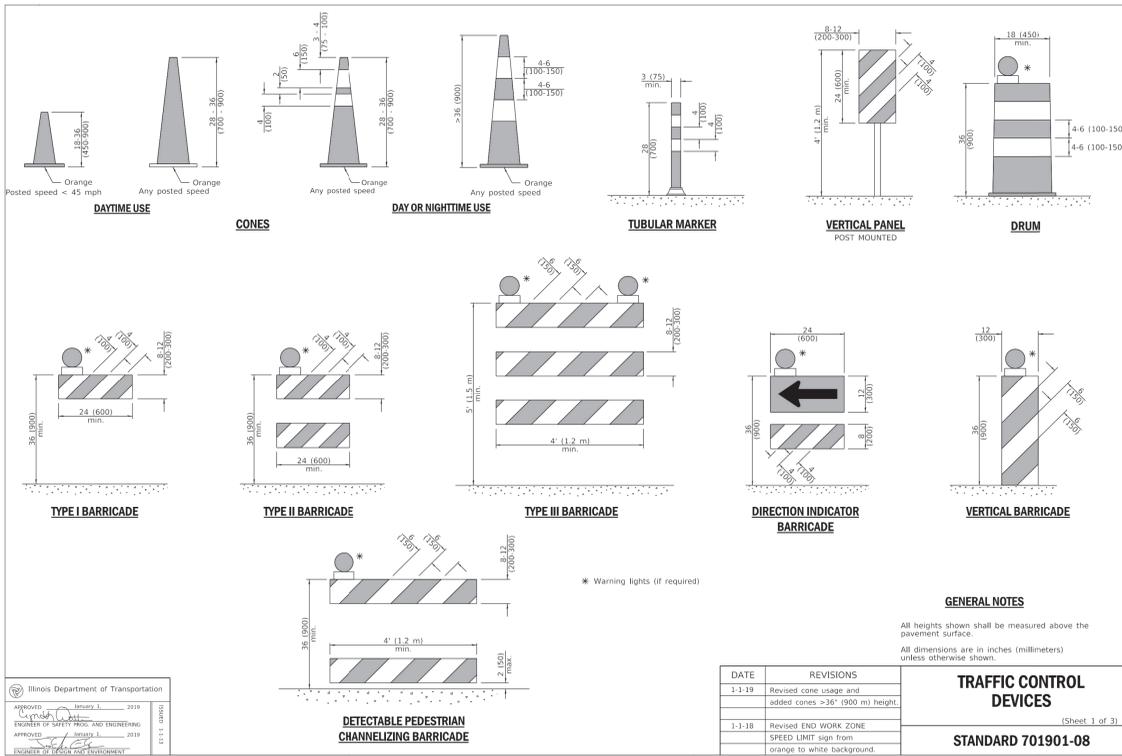
GENERAL NOTES AND CONSTRUCTION DETAILS

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129 CAPISTA DRIVE • SHOREWOOD, ILLINOIS 60404
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www.ruettiger-tonelli.com
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FIELD BOOK & PAGE: JUC Bk 1, P 53
R.T. & A. Dwg. No.: 420-0314-C1

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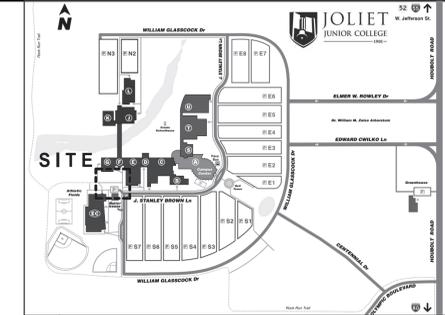
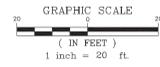
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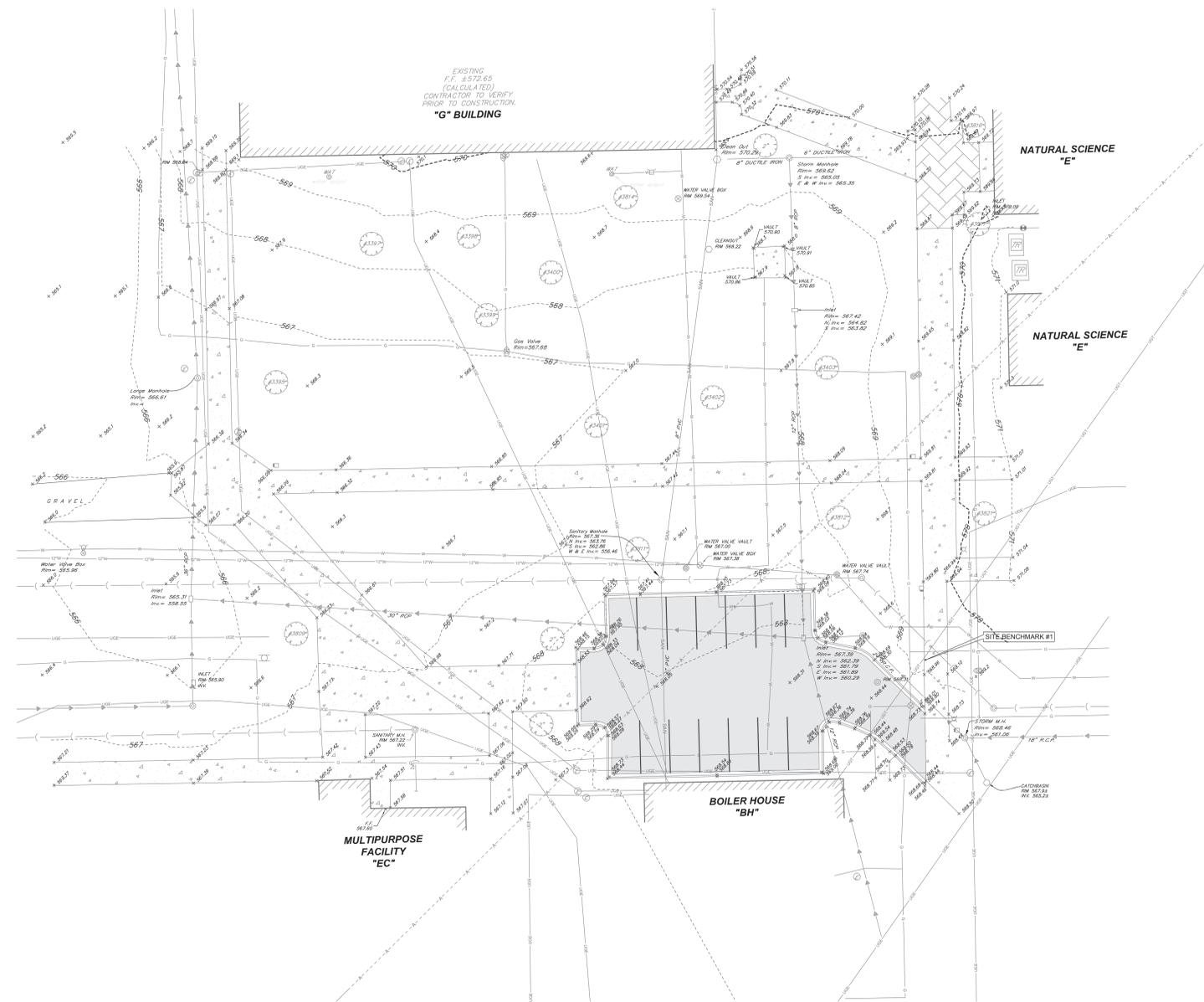
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LEGEND		
XXXXXX	EXISTING ELEVATION	EVERGREEN TREE W/ DIAMETER
----	EXISTING CONTOUR	EXISTING TREE W/ DIAMETER
T/F	TOP OF FOUNDATION	BUSH W/ DIAMETER
F.F.	FINISHED FLOOR	TRAFFIC SIGNAL
CMP	CORRUGATED METAL PIPE	TRAFFIC SIGNAL HANDHOLE
FES	FLARED END SECTION	GAS METER
T/WALL	TOP OF WALL	SANITARY SEWER MANHOLE
FL	FLOW LINE	"SUSPECTED" SANITARY SEWER LINES
ROP	REINFORCED CONCRETE PIPE	GUARDRAIL
CPP	CORRUGATED PLASTIC PIPE	ELECTRIC BOX
PVC	POLYVINYL CHLORIDE PIPE	ELECTRIC HANDHOLE
UTILITY POLE	UTILITY POLE	ELECTRIC OUTLET
UNDERGROUND ELECTRIC LINES	UNDERGROUND ELECTRIC LINES	ELECTRIC TRANSFORMER
OVERHEAD ELECTRIC LINES	OVERHEAD ELECTRIC LINES	GAS VALVE BOX
STREET LIGHT	STREET LIGHT	LANDSCAPE LIGHT
VALVE & VAULT	VALVE & VAULT	BUFFALO BOX
FIRE HYDRANT	FIRE HYDRANT	HAND WATER PUMP
STORM SEWER INLET	STORM SEWER INLET	ELECTRIC METER
STORM SEWER MANHOLE	STORM SEWER MANHOLE	"SUSPECTED" UNDERGROUND WATER LINES
STORM SEWER LINES	STORM SEWER LINES	ROPE POST
"SUSPECTED" STORM SEWER LINES	"SUSPECTED" STORM SEWER LINES	IRRIGATION CONTROL VALVE
CABLE TV HANDHOLE	CABLE TV HANDHOLE	CLEAN OUT
CABLE TV PEDESTAL	CABLE TV PEDESTAL	TELEPHONE HANDHOLE
UNDERGROUND CABLE TV LINES	UNDERGROUND CABLE TV LINES	LIGHT HANDHOLE
TELEPHONE PEDESTAL	TELEPHONE PEDESTAL	EXISTING SOIL BORING LOCATION
TELEPHONE CONTROL MANHOLE	TELEPHONE CONTROL MANHOLE	
UNDERGROUND TELEPHONE LINES	UNDERGROUND TELEPHONE LINES	
SIGN	SIGN	
UNDERGROUND GAS LINES	UNDERGROUND GAS LINES	
SIGNAL CONTROL BOX	SIGNAL CONTROL BOX	
SIGNAL PEDESTAL	SIGNAL PEDESTAL	

EXISTING CONDITIONS NOTES:
1) EXISTING CONDITIONS SHOWN HEREIN ARE FROM SURVEYS BY R.T. & A. (2008-2015) DURING VARIOUS PHASES OF CAMPUS CONSTRUCTION AND FROM PREVIOUSLY PROPOSED IMPROVEMENT PLANS BY R.T. & A. (2008-2015). FIELD VERIFY EXACT LOCATIONS PRIOR TO ANY CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WERE LOCATED BY LOGS, PHYSICAL EVIDENCE, UTILITY COMPANY MAPS AND JUC LOCATIONS/MAPS AND THEREFORE THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

SITE BENCHMARK #1:
CUT CROSS IN CONCRETE WALK APPROXIMATELY 28' EAST AND 40' NORTH OF NORTHEAST CORNER OF BOILER HOUSE "BH" (N: 1760384.465, E: 1022628.614) ELEVATION = 569.07

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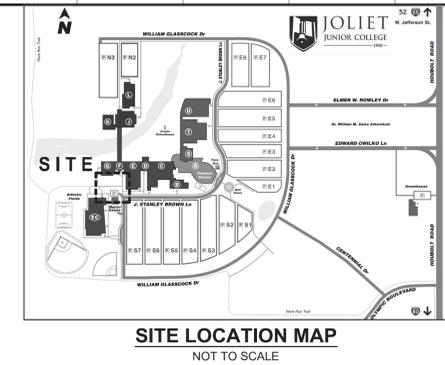
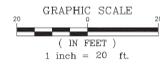
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EXISTING CONDITIONS

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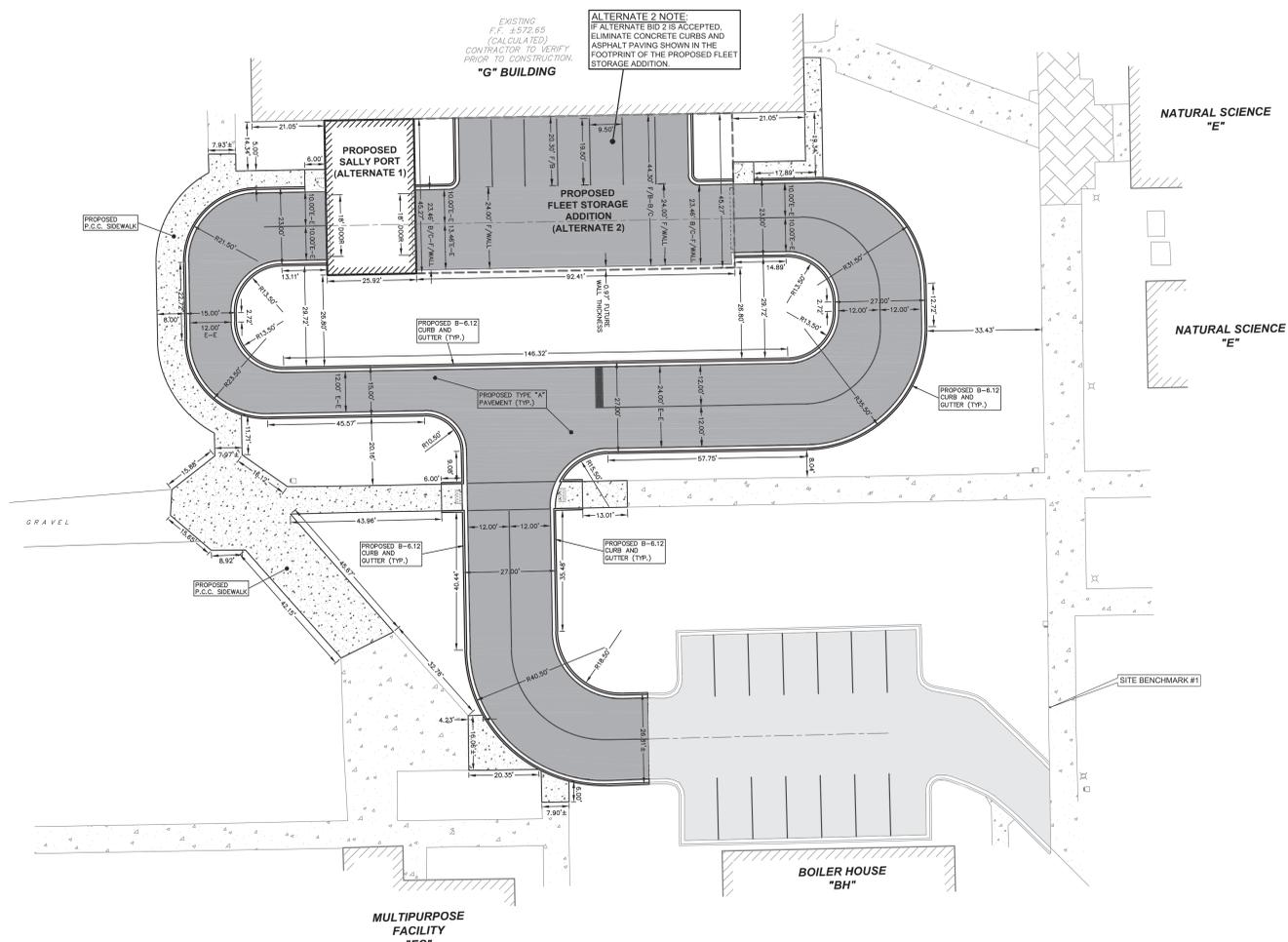
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LEGEND

- EXISTING CURB
- PROPOSED CURB
- PROPOSED CURB REVERSED PITCH
- EXISTING PAVEMENT AREA
- PROPOSED PAVEMENT AREA AS NOTED
- ARC DISTANCE
- XXX' B/C BACK OF CURB DISTANCE
- XXX' F-F FACE TO FACE OF CURB DISTANCE
- XXX' F/W FACE OF WALK DISTANCE
- XXX' B-B BACK TO BACK OF CURB DISTANCE
- XXX' E-E EDGE TO EDGE OF PAVEMENT DISTANCE
- XXX' E/P TO EDGE OF PAVEMENT DISTANCE
- PROPOSED SIGN
- PROPOSED LIGHT BASE

- GEOMETRIC PLAN NOTES**
- 1.) ALL PARKING STALL, SAFETY ISLAND, NO PARKING AREAS AND CROSSWALK STRIPING SHALL BE 4 INCH WIDE STANDARD I.D.O.T. YELLOW - DIAGONAL STRIPING SHALL BE 2 FT. ON CENTER.
 - 2.) ALL SIGNS SHALL MEET THE REQUIREMENTS AND STANDARDS OF THE U.S. DEPT. OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, THE ILLINOIS ADMINISTRATIVE CODE, LATEST ADDITION, AND ALL LOCAL ORDINANCES.
 - 3.) UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE SHOWN TO THE BACK OF THE CURBLINE OR FACE OF THICKENED WALK WHERE APPLICABLE.
 - 4.) ALL RADII ARE TO BACK OF CURB.
 - 5.) UNLESS OTHERWISE SPECIFIED, ALL PROPOSED CURBS SHALL BE B-6.12 CONCRETE CURB AND GUTTER.
 - 6.) PROPOSED P.C.C. SIDEWALK SCORING PATTERN TO MATCH EXISTING P.C.C. SIDEWALK SCORING PATTERN.

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PROPOSED SITE GEOMETRY PLAN (ALTERNATE BIDS #1 & #2)

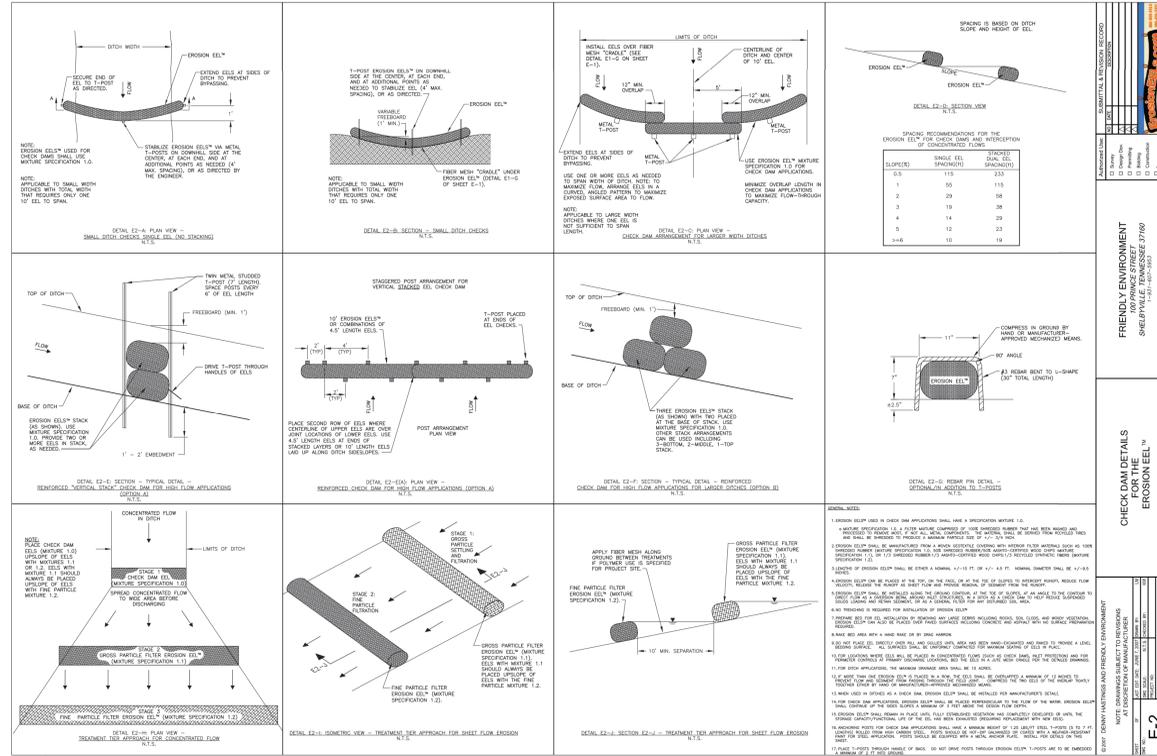
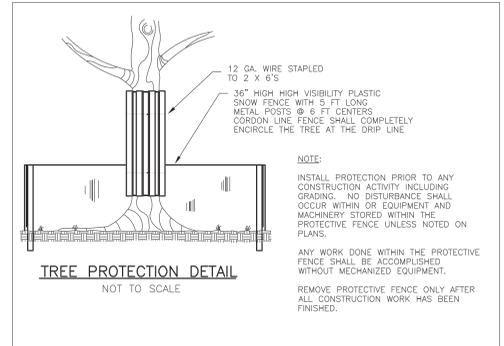
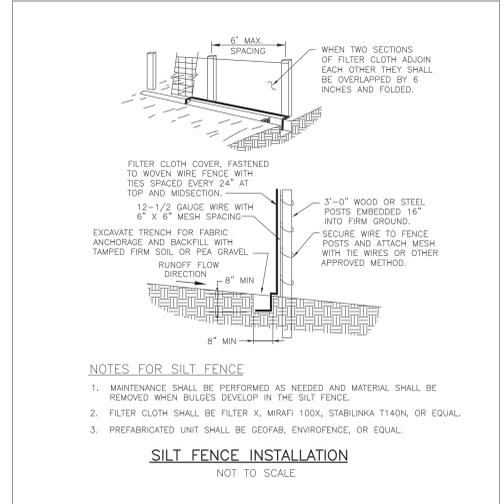
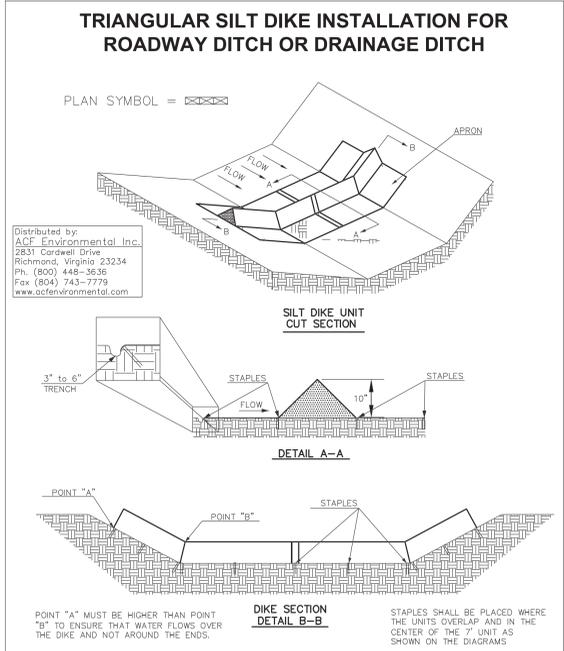
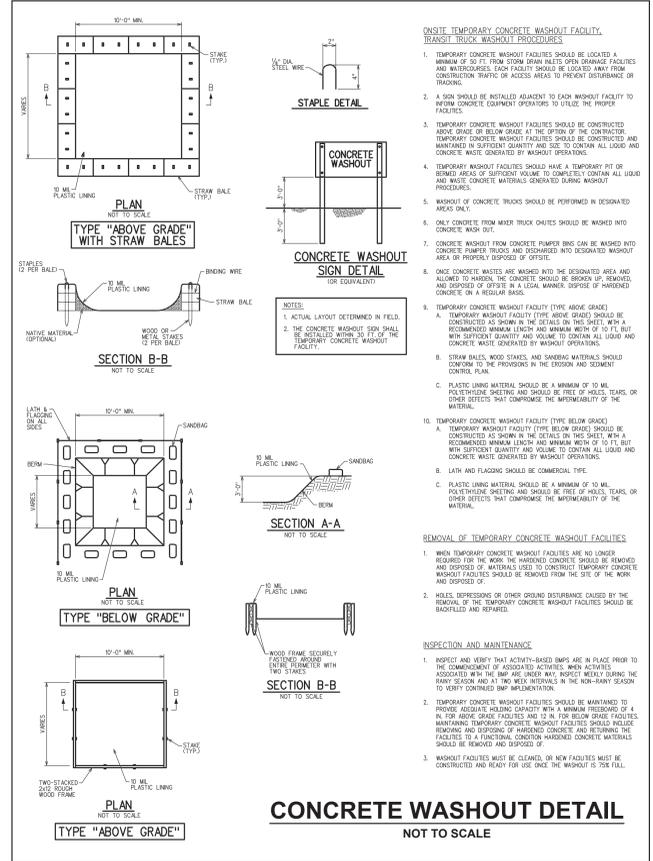
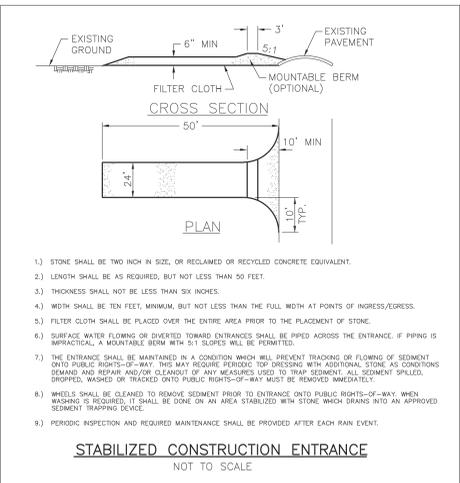
C-300
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SITE BENCHMARK #1:
CUT CROSS IN CONCRETE WALK APPROXIMATELY 28' EAST AND 40' NORTH OF NORTHEAST CORNER OF BOILER HOUSE "BH" (N: 1780384.465, E: 1022628.614) ELEVATION = 569.07

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PROJECT GENERAL NOTES

A. GENERAL

- 1. THE INFORMATION CONTAINED ON THE STRUCTURAL DRAWINGS IS IN ITSELF INCOMPLETE AND MUST BE USED IN CONJUNCTION WITH ALL OF THE PROJECT DRAWINGS AND SPECIFICATIONS...
2. THE EXISTING STRUCTURAL INFORMATION THAT IS DEPICTED HEREON ON THE DRAWINGS HAS BEEN EXTRACTED FROM THE AVAILABLE DOCUMENTATION FOR THE ORIGINAL BUILDINGS...
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS THAT AFFECT CONSTRUCTION...
4. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURE...
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY INCLUDING ALL TEMPORARY PRECAUTIONARY MEASURES AND SAFETY PROGRAMS...
6. STRUCTURES HAVE BEEN DESIGNED FOR OPERATIONAL LOADS ON THE COMPLETED STRUCTURE...
7. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND REMOVAL OF ALL TEMPORARY BRACING AND CONSTRUCTION SUPPORTS...
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE STRUCTURAL WORK WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS...
9. SHOP DRAWINGS FOR ALL OF THE STRUCTURAL COMPONENTS ON THIS PROJECT...
10. FOR WORK BRACING MATERIALS THAT IS/ARE SPECIFIED ON THE DRAWINGS TO BE DESIGNED BY A SPECIFIC TRADE CONTRACTOR...
11. THE STRUCTURAL ENGINEER WILL RETURN, WITHOUT COMMENT, SUBMITTALS THAT THE CONTRACTOR HAS NOT STAMPED OR WHICH DO NOT MEET THE REQUIREMENTS OF NOTES 9 AND 10 ABOVE...
12. SHOP DRAWING SUBMITTALS THAT HAVE DELEGATED DESIGN AS A PART OF THE SCOPE OF WORK ARE TO BE FORWARDED TO THE AUTHORITY JURISDICTION...
13. REQUESTS FOR INFORMATION SHALL BE SUBMITTED IN WRITING AND SHALL REFERENCE THE SPECIFIC PORTION OF THE CONSTRUCTION DOCUMENTS IN QUESTION.

B. SOIL FOOTINGS

- 1. FOOTING SIZES FOR THIS PROJECT HAVE BEEN DESIGNED BASED UPON AN ASSUMED SAFE ALLOWABLE SOIL BEARING PRESSURE OF 3,000 PSF...
2. THE IN-SITU SOIL MATERIALS THAT ARE EXPECTED TO BE ENCOUNTERED DURING THE EXCAVATION FOR THE NEW BUILDING FOUNDATIONS ASSOCIATED WITH THIS PROJECT ARE IDENTIFIED IN THE PROJECT SOILS REPORT NOTED IN ITEM NO. 1 ABOVE...
3. AS A PART OF THE EXCAVATION FOR ALL NEW FOUNDATIONS IN THE VICINITY OF THE EXISTING BUILDINGS, AN APPROPRIATE EARTH RETENTION/TEMPORARY SHORING(BRACING SYSTEM) IS TO BE EMPLOYED THAT PROVIDES VERTICAL AND LATERAL STABILITY FOR THE EXISTING FOOTINGS...
4. ALL EXTERIOR FOOTINGS FOUNDATIONS SHALL BE SET A MINIMUM OF 4" BELOW FINISHED GRADE...
5. THROUGHOUT CONSTRUCTION, UNTIL SUCH TIME THAT THE PROJECT IS COMPLETE, THE CONTRACTOR IS TO PROVIDE ADEQUATE PROTECTION OF THE EXISTING AND NEW CONCRETE FOUNDATIONS AND SLABS AS NECESSARY TO PROTECT AGAINST THE EFFECTS OF FROST...
6. ALL MINIMUM FOOTING WIDTHS TO BE EQUAL TO THE SUPPORTED WALL THICKNESS PLUS 8" PROTECTION EACH SIDE (UNLESS OTHERWISE SPECIFIED) ANY FOOTING WIDTHS NOT SPECIFICALLY TAGGED SHALL ADHERE TO THIS CRITERIA.

C. CONCRETE

CONCRETE MATERIAL PROPERTIES

Table with 4 columns: Concrete Properties, f'c (PSI), SLUMP (INCHES), MAX. W/C RATIO. Rows include Footings, Interior Foundation Walls, Exterior Foundation Walls, Interior Slabs on Grade, Exterior Slabs on Grade.

REINFORCING MATERIAL PROPERTIES

Table with 4 columns: Reinforcing Properties, Fy (KSI), ASTM, TYPE. Rows include All Bars Unless Noted, Ties & Straps, Welded Wire Reinforcement, Welded Wire Reinforcing (WWR).

E. STEEL

STEEL MATERIAL PROPERTIES

- 1. ALL CONCRETE SHALL BE DESIGNED, DETAILED AND CONSTRUCTED IN ACCORDANCE WITH ACI 318, LATEST EDITION...
2. ALL REINFORCING SHALL BE DETAILED, FABRICATED & PLACED IN ACCORDANCE WITH THE CRSI 'MANUAL OF STANDARD PRACTICE' AND ACI 315 'DETAILS AND DETAILING OF CONCRETE REINFORCEMENT'...
3. PREPARE AND SUBMIT STEEL REINFORCEMENT SHOP DRAWINGS INDICATING DETAILS OF FABRICATION, BENDING AND PLACEMENT PREPARED ACCORDING TO ACI 315, 'DETAILS AND DETAILING OF CONCRETE REINFORCEMENT'...
4. TAKE 4 TEST CYLINDERS OF EACH CONCRETE POUR...
5. USE NEW PLASTIC COATED WOOD FORMS FOR ALL EXPOSED CONCRETE...
6. PROVIDE EXTRA REINFORCING BARS ON EACH FACE AROUND ALL OPENINGS 24" OR LARGER IN ALL SLABS & WALLS...
7. ALL FIELD BENDING OF REINFORCING BARS SHALL BE DONE COLD...
8. UNLESS OTHERWISE NOTED, THE FOLLOWING MINIMUMS SHALL APPLY...
9. WELDING OF REINFORCING BARS WILL ONLY BE ALLOWED WHEN SHOWN ON THE STRUCTURAL DRAWINGS...
10. WHERE DWELLS ARE INDICATED BUT NOT SIZED, PROVIDE DWELLS THAT MATCH SIZE AND LOCATION OF MAIN REINFORCEMENT...
11. ALL LAPS WHEN NOT DIMENSIONED ON DRAWINGS, SHALL BE CLASS 'B' TENSION LAPS...
12. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR ALL REINFORCEMENT:

Table with 2 columns: MINIMUM COVER (IN), Description. Rows include Concrete cast against & permanently exposed to earth, Concrete exposed to earth or weather, #8 thru #11 bars, #5 bars & smaller, Concrete not exposed to weather or in contact with the ground, Slabs & walls, Beams & columns.

- 13. INTERIOR FOUNDATION WALLS AND FOOTINGS ARE TO BE BACKFILLED WITH CA-7 CRUSHED (ANGULAR) STONE PLACED IN 12" MAXIMUM LIFTS THAT IS COMPACTED BY TAMPING WITH THE BUCKET OF A BACKHOE...
14. EXTERIOR FOUNDATION WALLS AND FOOTINGS ARE TO BE BACKFILLED ON THE INTERIOR SIDE WITH CA-7 CRUSHED (ANGULAR) STONE PLACED IN 12" MAXIMUM LIFTS THAT IS COMPACTED BY TAMPING WITH THE BUCKET OF A BACKHOE...
15. BACKFILL AGAINST FOUNDATION WALLS SHALL BE DONE EVENLY ON BOTH SIDES...
16. CONTRACTOR TO FURNISH PROTECTION FOR FOUNDATIONS AND SLABS AGAINST THE EFFECTS OF FROST AS REQUIRED DURING UNUSUAL WEATHER...
17. CONTRACTOR TO REMOVE ALL FINS AND PROJECTIONS, AND FILL ALL VOIDS AT NEW EXTERIOR FOUNDATION WALL SURFACES...
18. PROVIDE A 3/4" CHAMFER AT ALL EXPOSED CORNERS OF CONCRETE...
19. CONTRACTOR TO CORO. ALL RECESSED T/S LAB ELEVATIONS WITH ARCH. DWGS. AND WITH THE FLOORING MANUFACTURER FOR THE FINAL REQUIREMENT...
20. THERE ARE TO BE ABSOLUTELY NO HORIZONTAL RUNS OF CABLE, CONDUIT, PIPING, OR ANY OTHER M.E.P. MATERIAL PLACED WITHIN THE CROSS SECTION OF THE CONCRETE SLABS...
21. REFER TO PROJECT SPECIFICATIONS FOR SLAB AREAS THAT ARE TO RECEIVE MOISTURE MITIGATION BARRIER INSTALLED AT THE TIME OF SLAB FINISHING.

F. STEEL JOISTS

- 1. BAR JOISTS TO BE DESIGNED, FABRICATED, AND ERECTED ACCORDING TO THE SPECIFICATIONS OF THE STEEL JOIST INSTITUTION (S.J.I.) AND OSHA REGULATIONS, LATEST ADOPTION...
2. PREPARE AND SUBMIT STEEL JOIST SHOP DRAWINGS INDICATING LAYOUT AND TYPES OF JOISTS, ANCHORAGE DETAILS, BRIDGING LAYOUT AND ATTACHMENTS TO OTHER CONSTRUCTION...
3. PLACEMENT OF MECHANICAL COMPONENTS AND HANGERS SUPPORTED BY THE JOISTS ARE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER...
4. ALL EQUIPMENT HUNG FROM JOISTS SHALL BE SUPPORTED FROM TOP CHORDS AT PANEL POINTS AND LOCATED SO THAT THE WEIGHT IS DISTRIBUTED AMONG THE GREATEST POSSIBLE NUMBER OF JOISTS...
5. THE JOIST MANUFACTURER SHALL SUBMIT DESIGN CALCULATIONS SIGNED AND SEALED BY A STRUCTURAL ENGINEER...
6. STEEL JOISTS SHALL BEAR A MINIMUM OF 6" ON STEEL BRACING PLATES AS MASONRY WALLS...
7. JOIST MANUFACTURER TO SIZE & INSTALL ALL REQUIRED BRIDGING FOR THE JOISTS IN ACCORDANCE WITH THE LATEST S.J.I. SPECIFICATIONS...
8. ALL ROOF JOISTS AND BRIDGING TO BE DESIGNED FOR A NET UPLIFT DUE TO WIND OF 15 PSF...
9. ALL JOIST BEARING SEATS AT THE PERIMETER OF THE BUILDING ARE TO BE DESIGNED TO TRANSFER A LATERAL SHEAR FORCE FROM THE ROOF DECK...
10. SHOP COAT OF RUST-INHIBITING PAINT TO BE SHOP APPLIED TO ALL STEEL JOISTS AFTER REMOVING ALL RUST, SCALE, AND DIRT FROM THE STEEL...
11. JOISTS THAT ARE TO RECEIVE SPECIAL COATINGS, INCLUDING BUT NOT LIMITED TO INTUMESCENT AND/OR FINISH PAINT, SHALL BE PREPARED IN ACCORDANCE WITH THE FINAL COATING MANUFACTURER'S SPECIFIC REQUIREMENTS...
12. PROVIDE EQUAL SPACING OF JOISTS WHERE SPACING IS NOT SPECIFICALLY INDICATED ON THE PLAN.

MASONRY

- 1. DESIGN IS BASED ON 'BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' (ACI 530 LATEST EDITION)...
2. COMBINE MORTAR AND MASONRY UNIT STRENGTHS AS REQUIRED TO OBTAIN A NET MASONRY COMPRESSIVE STRENGTH (fm) OF 3000 PSI...
3. MASONRY WALLS SHALL BE LAID WITH THE COURSING INDICATED ON THE ARCHITECTURAL DRAWINGS AND SHALL HAVE CONTROL JOINTS AT A MAXIMUM OF 25 FEET UNLESS NOTED OTHERWISE ON THE DRAWINGS...
4. PROVIDE 9 GAGE HORIZONTAL JOINT REINFORCEMENT AT EVERY SECOND COURSE UNLESS OTHERWISE NOTED...
5. PROVIDE SOLID MASONRY UNITS OR GROUDED HOLLOW UNITS UNDER ALL LINTEL BEARINGS FOR A DEPTH OF 2'-0" AND WIDTH OF 3'-0" (UNLESS NOTED OTHERWISE)...
6. CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING SAME SHALL NOT BE INCLUDED IN MORTAR OR GROUT MIX...
7. MASONRY WALLS SHALL BE ADEQUATELY BRACED DURING THEIR ERECTION...
8. GROUT CORES OF CMU WALLS SOLID AT ALL LOCATIONS WHERE WALL MOUNTED EQUIPMENT ATTACHMENTS ARE TO BE MADE...
9. NO EXTERIOR MASONRY SHALL BE LAID WHEN THE OUTSIDE AIR TEMPERATURE IS LESS THAN 40 DEGREES F...
10. IT IS NOT THE INTENT OF THE STRUCTURAL SECTIONS/DETAILS HEREIN TO DEPICT THE ELEVATION OF MASONRY COURSING OR THE TYPE OF FINISH, DIMENSIONS OR MATERIAL TO BE SUPPLIED FOR ANY MASONRY PRODUCT...
11. MASON TO PROVIDE PREFABRICATED REBAR SPACERS AT A FREQUENCY AS NECESSARY TO PROPERLY POSITION THE REBAR WITHIN THE CONCRETE MASONRY UNIT CELLS (TYP)...
12. MASON TO PROVIDE A MINIMUM OF A 54" LAP SPlice UNLESS #8 BAR SPlice LOCATIONS (TYP)...
13. ALL PENETRATIONS THROUGH MASONRY WALLS REQUIRE LINTELS...
14. SEE DETAILS 5-7 ON SHEET S-301 FOR STABILIZING TOP OF NON-LOAD BEARING PARTITION WALLS AT THE UNDERSIDE OF ROOF STRUCTURES.

G. STEEL DECK

- 1. ALL STEEL DECKS SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS...
2. PREPARE AND SUBMIT METAL DECK SHOP DRAWINGS INDICATING LAYOUT AND TYPES OF DECK PANELS, ANCHORAGE DETAILS, REINFORCING CHANNELS, PANS, DECK OPENINGS, SPECIAL JOINTING, ACCESSORIES AND ATTACHMENTS TO OTHER CONSTRUCTION...
3. ALL GALVANIZED DECKS TO CONFORM TO ASTM A653 WITH MINIMUM OF G60 ZINC COATING...
4. ALL DECK SHALL BE DESIGNED TO BE CONTINUOUS OVER THREE (3) SPANS IN THE DIRECTION INDICATED ON PLAN...
5. ALL WELDING SHALL BE DONE BY THE SHIELDED ARC PROCESS IN ACCORDANCE WITH THE RULES OF THE AMERICAN WELDING SOCIETY (AWS)...
6. MINIMUM ROOF DECK FASTENING SHALL BE 5/8" NCH DIAMETER PUDDLE WELDS USING A 3/64" OR 3/64" WELD PATTERN TO ALL SUPPORT MEMBERS...
7. DIRECT ATTACHMENT OF SUSPENDED LOADS TO THE METAL ROOF DECK IS NOT ALLOWED...
8. GROUT SPACE IS CLEAN...
9. PLACEMENT OF REINFORCEMENT ANCHORS...
10. CONSTRUCTION OF MORTAR JOINTS...
11. PRIOR TO GROUTING, THE FOLLOWING SHALL BE VERIFIED TO ENSURE COMPLIANCE...
12. PREPARATION OF ANY REQUIRED GROUT SPECIMENS, MORTAR SPECIMENS AND/OR PRISMS SHALL BE OBSERVED...
13. IT IS THE OWNER'S RESPONSIBILITY TO CONTRACT WITH THE APPROPRIATELY CERTIFIED COMPANIES TO HAVE THESE TESTS PERFORMED...

DESIGN CRITERIA

BUILDING CODE:

- 1. 2015 INTERNATIONAL BUILDING CODE

SOILS:

- 1. MINIMUM DESIGN ALLOWABLE SOIL BEARING PRESSURE:
a. ALL FOUNDATIONS 3,000 PSF

DESIGN LIVE LOADS:

- 1. ROOFS:
a. GROUND SNOW LOAD, Pg 30 PSF
b. FLAT ROOF SNOW LOAD, Pf 23 PSF + SBU
c. SNOW EXPOSURE FACTOR, Ce 1.0
d. SNOW IMPORTANCE FACTOR, Is 1.1
e. THERMAL FACTOR, Ct 1.0
f. DRIFTING SNOW PER ASCE 7-10
2. HANDRAILS AND GUARDRAILS:
a. UNFORMALLY DISTRIBUTED LOAD 50 PLF
b. CONCENTRATED LOAD 200 #

WIND DESIGN:

- 1. BUILDING ADDITION:
a. BASIC WIND SPEED, Vw 120 MPH
b. RISK CATEGORY II
c. MAIN WIND FORCE EXPOSURE B
d. COMPONENT & CLADDING EXPOSURE B
e. INTERNAL PRESSURE COEFFICIENT (ICCF) +0.18
f. COMPONENT & CLADDING PRESSURE 28 PSF (ULT)
g. ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE PROCEDURE
2. BUILDING ADDITION:
a. SEISMIC DESIGN CATEGORY B
b. SEISMIC RISK CATEGORY II
c. SEISMIC IMPORTANCE FACTOR 1.0
d. SITE CLASS D
e. SPECTRAL RESPONSE COEFFICIENT, Ss 0.171
f. SPECTRAL RESPONSE COEFFICIENT, Sd 0.111
g. ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE PROCEDURE

SEISMIC DESIGN:

- 1. BUILDING ADDITION:
a. SEISMIC DESIGN CATEGORY B
b. SEISMIC RISK CATEGORY II
c. SEISMIC IMPORTANCE FACTOR 1.0
d. SITE CLASS D
e. SPECTRAL RESPONSE COEFFICIENT, Ss 0.171
f. SPECTRAL RESPONSE COEFFICIENT, Sd 0.111
g. ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE PROCEDURE

SPECIAL INSPECTIONS & TESTING SCHEDULES

SPECIAL INSPECTIONS & TESTING - CONCRETE

Table with 4 columns: VERIFICATION & DESCRIPTION, FREQUENCY (CONTINUOUS, PERIODIC), REFERENCED STANDARDS, IBC REFERENCE. Rows include inspection of reinforcing steel, inspection of bolts to be installed in concrete, inspection of anchors installed in hardened concrete, verify use of required design mix, at the time fresh concrete is sampled to fabricate specimens for strength tests, inspection of concrete placement for proper application techniques, inspection for maintenance of specified curing temperature and techniques, verification of in-situ concrete strength, inspection for maintenance of specified curing temperature and techniques, verification of in-situ concrete strength, inspection for maintenance of specified curing temperature and techniques.

SPECIAL INSPECTIONS & TESTING - SOIL

Table with 4 columns: VERIFICATION & DESCRIPTION, FREQUENCY (CONTINUOUS, PERIODIC), REFERENCED STANDARDS, IBC REFERENCE. Rows include verify materials below shallow foundations, verify excavations are extended to proper depth, perform classification and testing of compacted fill materials, verify use of proper materials, densities and lift thicknesses as defined by the project geotechnical report, prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly, it is the owner's responsibility to contract with the appropriately certified companies to have these tests performed.

SPECIAL INSPECTIONS & TESTING - STEEL

Table with 4 columns: INSPECTION/TESTING TASK, FREQUENCY (CONTINUOUS, PERIODIC), REFERENCED STANDARDS, IBC REFERENCE. Rows include material verification of high-strength bolts, nuts and washers, identification markings to conform to ASTM standards, manufacturer's certificate of compliance, inspection of high-strength bolting, snug tight joints, pre-tensioned and slip-critical joints, indicator methods of installation, material verification of structural steel, identification markings to conform to ASTM standards, manufacturer's certificate of compliance, inspection of weldings, structural steel and cold formed steel deck, complete and partial joint penetration groove welds, multipass fillet welds, single-pass fillet welds, floor and roof deck welds, inspection of steel frame joint details for compliance, details such as bracing and stiffening, member locations, application of joint details at each connection.

Table with 3 columns: NO., DESCRIPTION, DATE. Includes a section for REVISIONS.

Table with 2 columns: PROJECT NUMBER, DATE OF ISSUE, DRAWN BY, CHECKED BY. Values: 220120.00, 06.28.21, RM, JRB.

PROJECT GENERAL NOTES, DESIGN CRITERIA & SPECIAL INSPECTIONS & TESTING SCHEDULES

PLAN NOTES & SYMBOLS

- CONTRACTOR TO COORDINATE ALL DIMENSIONS AND ELEVATIONS W/ ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS.
- SEE SHEET S-000 FOR PROJECT GENERAL NOTES, DESIGN LOAD CRITERIA AND SPECIAL INSPECTION & TESTING SCHEDULES.
- ALL SOIL, CONCRETE, REINFORCING STEEL, MASONRY AND STEEL TO BE TESTED IN ACCORDANCE WITH THE SPECIAL TESTING AND INSPECTION SCHEDULES ON SHEET S-000.
- SEE DETAIL 1/S-201 FOR PLACEMENT OF W.W.R. IN CONCRETE SLAB ON GRADE.
- SEE DETAIL 1/S-201 FOR TYPICAL SLAB CONTROL JOINT DETAIL.
- SEE DETAIL 2/S-201 FOR TYPICAL SLAB CONSTRUCTION JOINT DETAIL.
- SEE DETAIL 3/S-201 FOR ADDITIONAL SLAB REINFORCING AT RE-ENTRANT CORNERS.
- SEE DETAIL 4/S-201 FOR TYPICAL CORNER BAR DETAIL FOR FOUNDATION WALLS AND MASONRY BOND BEAMS.
- SEE DETAIL 5/S-201 FOR TYPICAL STEPPED FOOTING DETAIL.
- SEE DETAIL 6/S-201 FOR TYPICAL PIPE PENETRATION DETAILS THROUGH FOUNDATION WALLS & FOOTINGS.
- SEE DETAIL 7/S-201 FOR TYPICAL CONSTRUCTION JOINT DETAIL AT FOUNDATION WALLS.
- SEE DETAIL 8/S-201 FOR TYPICAL REBAR DETAILING WHERE FLOOR SLAB IS CAST OVER THE TOP OF THE FOUNDATION WALL.
- REFER TO ARCHITECTURAL DRAWINGS FOR FOUNDATION WALL & UNDER SLAB RIGID INSULATION REQUIREMENTS.
- PROVIDE PIER REINFORCING AT ALL OPENINGS PER 6/S-301.
- (8'-6") DENOTES ANTICIPATED TOP OF FOOTING ELEVATION.
- C.J. DENOTES SLAB CONTROL OR CONSTRUCTION JOINT. SEE TYPICAL DETAILS 1/S-201 & 2/S-201. MAXIMUM DISTANCE BETWEEN JOINTS IN ANY DIRECTION TO BE 15'-0".
- F.D. DENOTES FLOOR DRAIN. COORDINATE W/ ARCH. & M.E.P. DRAWINGS. SEE ARCH. AND M.E.P. DRAWINGS FOR REQUIRED SLOPES TO DRAINS.
- SLAB S1 (TYPICAL INTERIOR SLAB) INDICATES 6" CONCRETE SLAB REINFORCED W/ 6#6-W2.9W2.9 W.W.R. PROVIDED IN FLAT SHEETS ONLY, ON 6" COMPACTED GRANULAR FILL. SEE PLAN & ARCHITECTURAL DWGS. FOR T/ SLAB ELEVATIONS.
- SLAB S2 (TYPICAL EXTERIOR SLAB) INDICATES 5" CONCRETE SLAB REINFORCED W/ 6#6-W2.9W2.9 W.W.R. PROVIDED IN FLAT SHEETS ONLY, ON 6" COMPACTED GRANULAR FILL. SEE PLAN & ARCHITECTURAL DWGS. FOR T/ SLAB ELEVATIONS.
- NOTE FP-1A. PROVIDE (2) #6 x 6'-0" LG. DOWEL BARS IN PIER. EMBED 3'-0" INTO CONC. FOUNDATION WALL & GROUTED SOLID INTO MASONRY WALL. COORDINATE LOCATION W/ MASONRY CONTRACTOR. LAP DOWEL BARS W/ FULL HEIGHT MASONRY WALL REINFORCING.
- NOTE FP-2A. CHAIR LIFT FLOOR DEPRESSION. COORDINATE DEPTH AND LOCATION W/ ARCH. DWGS. AND LIFT MFR'S. RECOMMENDATIONS.
- DECK D1 INDICATES TYPE "B" (WIDE RIB) 1 1/2" x 20 GA. GALVANIZED METAL ROOF DECK. ATTACH DECK TO ALL SUPPORTING MEMBERS W/ 5/8" PUDDLER WELDS @ 12" O.C. @ PERIMETER & (2) #10 HEX HEAD SIDELAP SCREWS EQUALLY SPACED BETWEEN SUPPORTS. PROVIDE 3 SPAN MIN. SUPPORT.
- DECK D2 INDICATES 2" NORMAL WEIGHT CONCRETE SLAB ON 2" x 30 GA. I/J COMPOSITE. ETAL DECK OR EQUAL (5" TOTAL THICKNESS). METAL DECK TO BE ATTACHED TO ALL SUPPORTING MEMBERS W/ 5/8" PUDDLER WELDS @ 12" O.C. & #10 HEX HEAD SIDELAP SCREWS @ 36" O.C. MAX. REINFORCE CONCRETE SLAB W/ 6#6-W2.9W2.9 SLAB SHEET W.W.R.
- PROVIDE ANGLE FRAME REINFORCEMENT AT ALL PENETRATIONS THRU THE ROOF DECK. SEE TYPICAL ROOF OPENING FRAMING DETAIL 1/S-301 FOR ADDITIONAL INFORMATION.
- SUPPLEMENTAL WEB REINFORCING IS REQUIRED AT ALL JOISTS WHERE CONCENTRATED LOADS ARE APPLIED TO JOISTS BETWEEN PANEL POINTS. SEE DETAIL 3/S-301 FOR ADDITIONAL INFORMATION.
- THE TOP OF ALL NON-LOAD BEARING MASONRY PARTITION WALLS ARE TO BE LATERALLY STABILIZED TO THE UNDERSIDE OF THE ROOF STRUCTURE IMMEDIATELY ABOVE. SEE TYPICAL SECTIONS 7/S-301 FOR THE REQUIRED CONSTRUCTION.
- PERIMETER DECK ANGLES ARE TO BE CONTINUOUS AROUND THE LIMITS OF THE ROOF DECK. JOINTS BETWEEN INDIVIDUAL ANGLE PIECES ARE TO BE ATTACHED WITH FULL PENETRATION FIELD WELDS.
- CHANNELS THAT RUN PARALLEL AND IMMEDIATELY ADJACENT TO A PERIMETER MASONRY WALL ARE TO BE DETAILED WITH AND WELDED TO A 6"x6"x3/8" BEARING PLATE AT EACH END. BEARING PLATES TO BE DETAILED W/ (2) 3/8" DIA. x 4" WELDED HEADED STUDS ON THE UNDERSIDE OF THE PLATE. REFER TO DETAIL 5/S-301 FOR ADDITIONAL INFORMATION.
- A1 DENOTES 1/4"x4x5/16 DECK SUPPORT ANGLE. ATTACH ENDS OF ANGLE TO SUPPORT FRAMING SIM. TO DETAIL 1/S-301.
- A2 DENOTES 1/4"x4x5/16 FRAMING ANGLE. ATTACH ENDS OF ANGLE TO SUPPORT FRAMING SIM. TO DETAIL 1/S-301.
- L₁ DENOTES LINTEL. SEE LINTEL SCHEDULE A ON THIS SHEET.
- M.C.J. DENOTES APPROXIMATE LOCATION OF MASONRY CONTROL JOINT. REFER TO ARCH. DRAWINGS FOR CONSTRUCTION DETAILS OF JOINT. CONTRACTOR TO COORD. M.C.J. LOCATIONS W/ ARCH. DWGS.
- R.D. DENOTES ROOF DRAIN. COORDINATE WITH ARCHITECTURAL & M.E.P. DRAWINGS. PROVIDE ANGLE FRAME SUPPORT BENEATH DECK SIMILAR TO TYPICAL ROOF OPENING DETAIL 1/S-301.
- NOTE RP-1A. FILL CMU CORES SOLID, FULL HEIGHT FROM TOP OF CONCRETE FOUNDATION TO TOP OF SECOND FLOOR LEVEL USING 3000 PSI CONCRETE GROUT.
- NOTE RP-2A. DIMENSION INDICATES APPROXIMATE LENGTH OF MASONRY SHEAR WALL. MASONRY CONTROL JOINTS ARE NOT PERMITTED WITHIN THE LIMITS OF ANY SHEAR WALL. AT ENDS OF SHEAR WALL PANELS AND AT EACH END OF OPENINGS. PROVIDE 3 SETS OF (2) #6 BARS FULL HEIGHT IN CMU FROM TOP OF FOUNDATION WALL TO TOP OF MASONRY WALL LAP W/ #6 DOWELS IN FOUNDATION WALL. GROUT ALL COURSES W/ REBAR SOLID USING 3000 PSI CONCRETE GROUT.
- NOTE RP-3A. PROVIDE 3/8" x 1/2" LESS WIDTH OF WALL PLATE LINTEL (GALV.) AT SCUPPER. PROVIDE 6" BEARING AT EACH END.
- NOTE RP-4A. DO NOT WELD CHANNEL TO BEARING PLATE BP1.

LINTEL SCHEDULE A			
MARK	MEMBER SIZE	SHAPE	REMARKS
L1	(2)L3 12x3 12x5/16		
L2	MC12x31 & 5/16"x7 1/2" PLATE		PROVIDE BP1 EACH END-SEE DETAIL 5/S-301

- SEE DETAIL 5/S-301 FOR ADDITIONAL INFORMATION.
- BEAM TO BE CENTERED IN MASONRY CONSTRUCTION U.N.O. ON PLAN OR SECTIONS.
- ALL W BEAMS INDICATED ABOVE TO CONFORM TO ASTM A327 OR ASTM A882 (F=50/65).
- ALL CHANNELS, PLATES AND ANGLES INDICATED ABOVE TO CONFORM TO ASTM A36 STEEL U.N.O.
- PROVIDE MASONRY ANCHORS @ 32" O.C. HORIZONTALLY ON EACH SIDE OF BEAM WEB FOR ALL LINTELS 12" IN DEPTH OR GREATER.
- ALL EXTERIOR LINTELS TO BE GALVANIZED.
- PROVIDE (1) L3 12x3 12x5/16 FOR EACH 4" INCREMENT OF DEPTH AT ALL RECESSED ARCHITECTURAL OPENINGS UP TO 2'-6" IN LENGTH (I.E. FIRE EXTINGUISHER CABINETS, WATER COOLERS, ETC.)

BEARING PLATE SCHEDULE				
Mark	t	w	L	REMARKS
BP1	3/8"	7"	7"	GROUT WALL SOLID 2 COURSES DEEP x 2'-0" WIDE

- MASON TO INSTALL BEARING PLATES IN MASONRY WALLS SO THAT THE THICKNESS OF THE PLATE IS NOT VISIBLE IN THE FINISHED FACADE.
- ALL BEARING PLATES TO HAVE (2) 3/8"x4" LONG WELDED HEADED STUDS U.N.O.
- BEARING PLATES LOCATED DIRECTLY OVER MASONRY CONTROL JOINTS (M.C.J.) ARE TO HAVE WELDED HEADED STUDS SHIFTED TO ONE SIDE OF THE CONTROL JOINT. USE BOND BREAKER BETWEEN BOTTOM OF PLATE AND TOP OF WALL AT THE SIDE OF BEARING PLATE WITHOUT STUDS.
- t = THICKNESS OF PLATE.
- REFER TO 5/S-301 FOR ADDITIONAL INFORMATION.

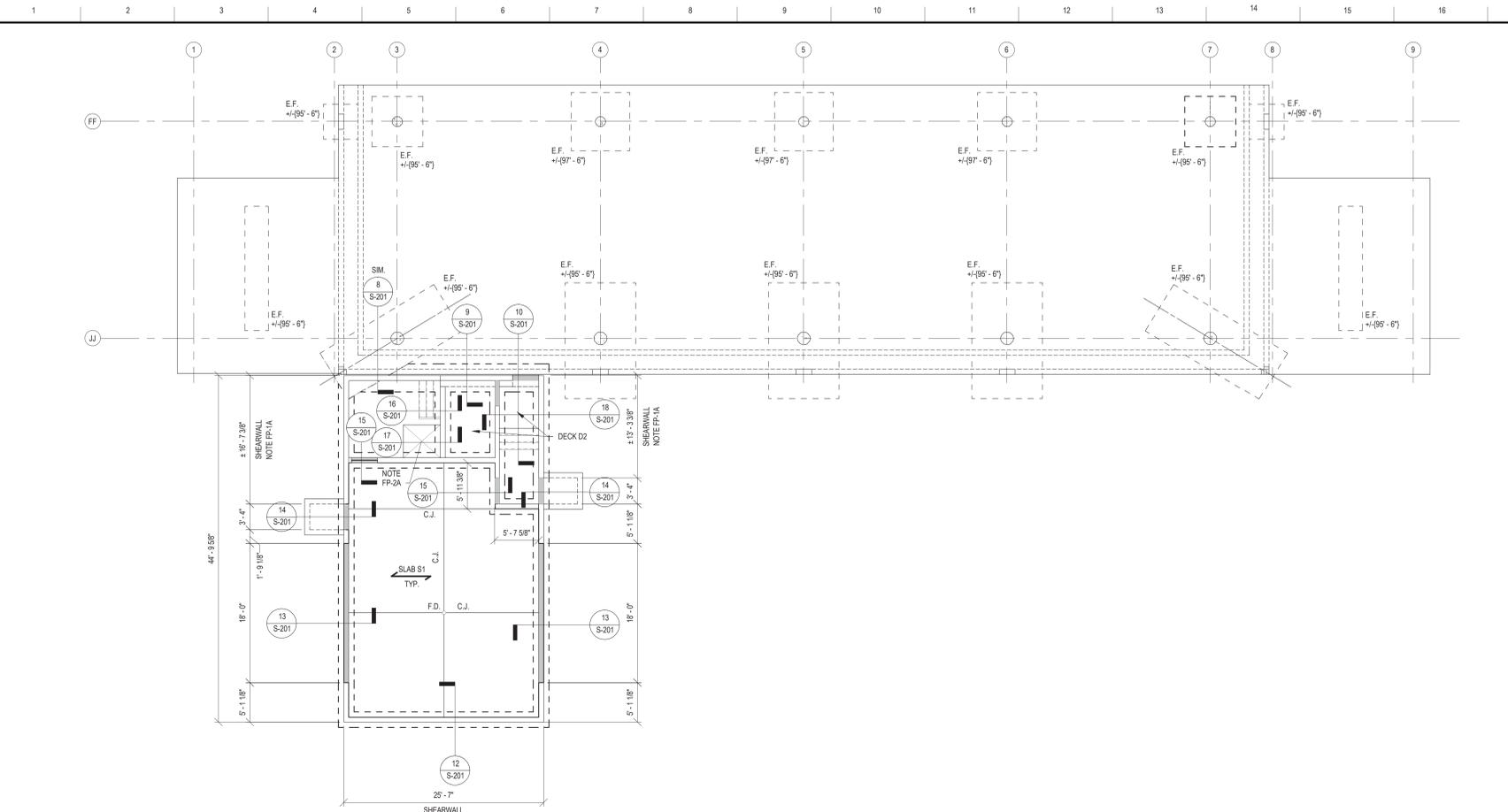
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REVISIONS		
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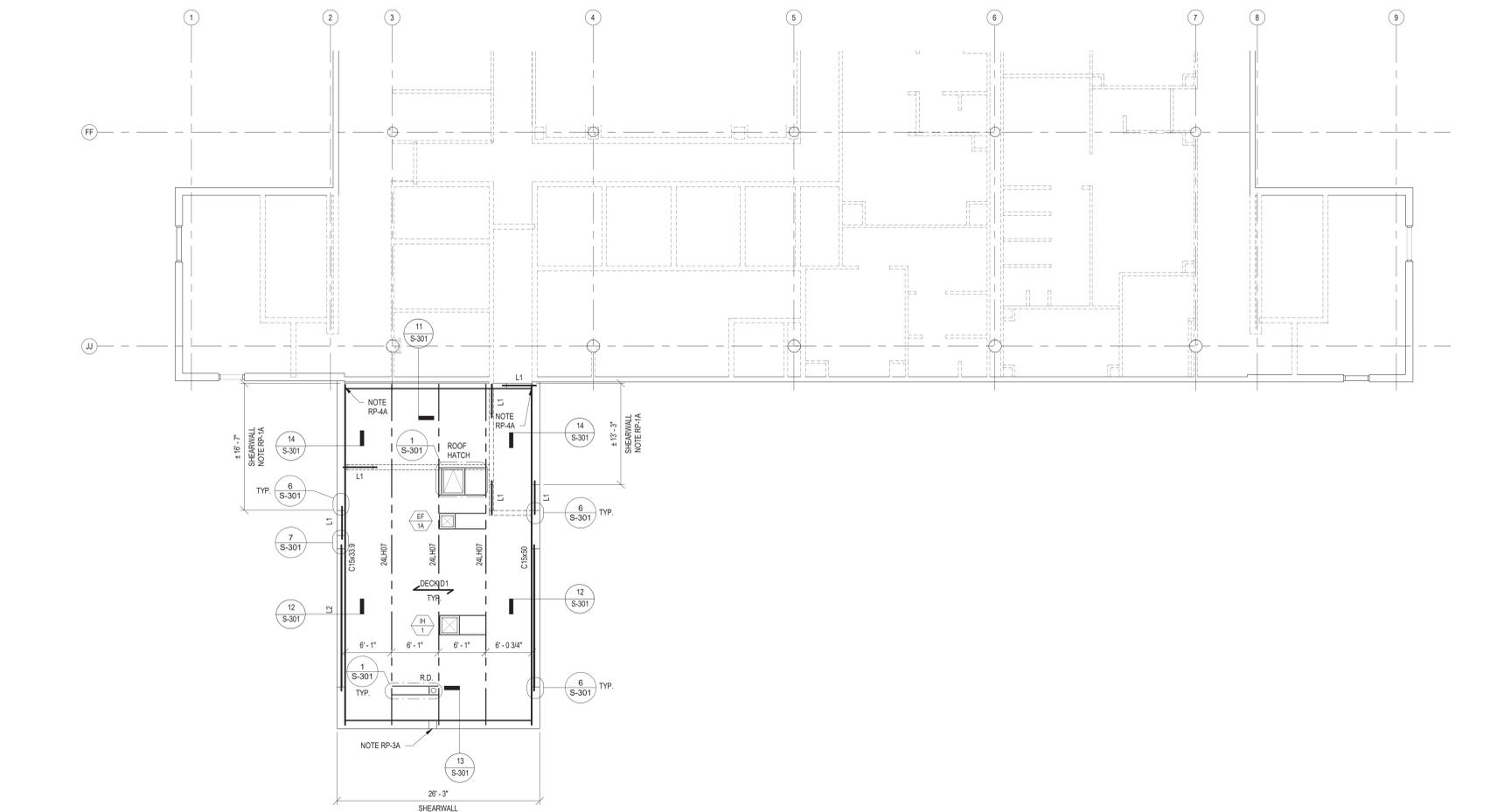
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ALTERNATE #1
FOUNDATION PLAN & ROOF
FRAMING PLAN

S-101A



1 FOUNDATION PLAN - ALTERNATE #1
1/8" = 1'-0"



2 ROOF FRAMING PLAN - ALTERNATE #1
1/8" = 1'-0"